

# BUILDING PERMIT

VALIDATION

APPLICANT: ALEXANDER PARTRIDGE DATE: SEPTEMBER 21, 2010 PERMIT NO: 10556

PERMIT TO: GARAGE ADDRESS: \_\_\_\_\_ DISTRICT: \_\_\_\_\_

TYPE OF IMPROVEMENT: \_\_\_\_\_ NO. STORIES: \_\_\_\_\_ NUMBER OF DWELLING UNITS: \_\_\_\_\_

ST. LOCATION: 57 DEPOT ROAD STREET: \_\_\_\_\_ ZONING DISTRICT: R40

BETWEEN \_\_\_\_\_ AND \_\_\_\_\_

SUBDIVISION: MAP 51-2 PARCEL 44.1 ZONE X LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ LOT SIZE: 14082

BUILDING IS TO BE \_\_\_\_\_ FT. WIDE BY \_\_\_\_\_ FT. LONG BY \_\_\_\_\_ FT. IN HEIGHT AND SHALL CONFORM IN CONSTRUCTION TO TYPE \_\_\_\_\_

REMARKS: CONSTRUCT A GARAGE WITH ROOM OVER ACCORDING TO ACCEPTED PLANS

AREA OR VOLUME: \_\_\_\_\_ (GROSS SQUARE FEET) ESTIMATED COST \$ 50000 PERMIT FEE \$ 273

OWNER: ALEXANDER PARTRIDGE BUILDING DEPT BY: Reg. Lopez

(Affidavit on reverse side of application to be completed by authorized agent of owner)

## Inspection Department

### Transmittal Form for the Fire Department

Applicants Name: Alexander Partridge Telephone #: 503-563-2603

Project Location: 57 Depot Rd

Project Description: Garage with bedroom above attached

Approved for Transmittal: Hann Date: 9-23-10

Type of Heat: \_\_\_\_\_ Fire Department Permit #: 15N-261-10

Remarks: \_\_\_\_\_

Approved By: [Signature] Date: 9-23-10

**TOWN OF BOURNE  
INTERDEPARTMENTAL ADVISORY FORM**

OWNER/APPLICANT: Alexander Partridge 10556  
 PROJECT LOCATION: 57 Depot Road  
 NATURE OF REQUEST: Garage w/ Room above  
 DATE: 3-25-10 DEPARTMENT: Inspection

**ENGINEERING:** MAF: 51.2 PARCEL: 44.1 LOT: 4  
 Date of recording: 1962 Lot area: 14,030 Frontage: 78.33  
 Zone: R-40 Resource District: yes Town Road: yes Paved: yes  
 Contiguous Lots? No Flood Zone: X Within 100' of Wetland? No  
 Owner: Alexander + Molly C. Partridge  
 Remarks: \_\_\_\_\_

[Signature] 3/25/2010  
 Department Head (date)

**PLANNING DEPARTMENT:** Close 9.16.10 - Got SF from BOA  
 Concur  Does Not Concur  
 Remarks: Exceeds Max gross floor area per zoning  
Lot 1/2 of Sec 2150 of Zoning Bylaw

[Signature] 3/26/10  
 Town Planner (date)

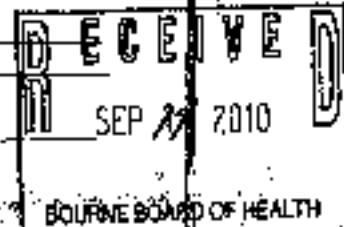
**PLANNING BOARD:**  Concur  Does Not Concur  
 Remarks: \_\_\_\_\_

[Signature] 9/16/10  
 Board Member (date)

**CONSERVATION COMMISSION:**  
 Must file ( ) Determination or ( ) Notice of Intent  
 Need not file.  
 \_\_\_\_\_  
 Commission Member (date)

**BOARD OF HEALTH:**  Concur  Does Not Concur  
 Remarks: \_\_\_\_\_

System inspected by BOH 2/24/10  
OK for total 4 bedroom  
garage w/ bedroom above OK  
[Signature] 9/20/10  
 Health Acpt. (date)





TOWN OF BOURNE  
BOARD OF APPEALS  
24 PERRY AVENUE  
BUZZARDS BAY, MA 02532  
TEL. 508-759-0615 EXT. 21  
FAX 508-759-0611



## SPECIAL PERMIT FINAL DECISION

Extension or Alteration of Pre-Existing Non-Conforming Structure or Use

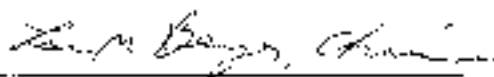
**PETITION NUMBER: #14-10**  
**NAME OF APPLICANT: ALEXANDER PARTRIDGE**  
**CURRENT PROPERTY OWNER(S): ALEXANDER PARTRIDGE**  
**PROPERTY ADDRESS: 57 DEPOT ROAD**  
**REGISTRY OF DEEDS TITLE REFERENCE: BOOK: 22140 , PAGE: 90**  
**TOWN MAP: 51.2 PARCEL 44.1 LOT**  
**PETITION NUMBER: #14-10**

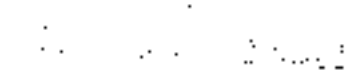
On August 18, 2010, the Board of Appeals voted to grant a special permit for an addition to an existing non-conforming structure according to the Bourne Zoning Bylaws Section 2320 for property located at 57 Depot Road, Cataumet, as shown on assessor's map # 51.2 , parcel # 44.1 in an R-40 zoning district. Registry of Deeds book #22140, page 90.

The Board of Appeals certifies that the decision attached hereto is a true and correct copy of its decision to grant a Special Permit and that copies of said decision, and all plans referred to in the decision, have been filed with the Town Clerk.

The Board of Appeals also calls to the attention of the owner or applicant that General Laws, Chapter 40A, Section 11 provides that no special permit, or any extension, modification or renewal thereof, shall take effect until a copy of the decision bearing the certification of the town clerk that twenty days have elapsed after the decision has been filed or that, if an appeal has been filed, it has been dismissed or denied, is recorded in the registry of deeds for the county and district in which the land is located and indexed in the grantor index under the name of the owner of record or is recorded and noted on the owner's certificate of title. The owner or applicant shall pay the fee for such recording or registering. A copy of that recorded or registered decision shall be submitted to the Inspection Department office, as proof of filing, along with an application for a Building Permit.

Any person aggrieved by this decision may appeal to the Superior Court or Land Court as provided in M.G.L. Chapter 40A, Section 17, and by filing a NOTICE OF ACTION AND COMPLAINT with the Town Clerk within twenty (20) days of the date of filing of this decision.

  
Board of Appeals

  
AUG 18 2010 5:38 PM

## PROCEDURAL HISTORY:

1. Application for Special Permit was made by Alexander Partridge, 67 Depot Rd. Cataumet, Bourne, MA
2. Proper notice was given and the public hearing was opened on Wednesday, August 18, 2010 and closed on August 18, 2010.
3. The Application was accompanied by: assessor's map, site plan by Warwick & Assoc. dated 11/24/09 and architect drawings by SPB Design LLC, Falmouth, MA dated 10/22/09, table with data for the gross floor area and gross lot coverage. Also a letter from the Bourne Fire Dept. stating that the fire alarm requirements for the entire dwelling must meet the State Building Code and a letter from the Bd. of Health approving the septic system for 4 bedrooms.
4. The Board reviewed the application along with all of the materials submitted.
5. The Board gave due consideration to the testimony given at the public hearing.

## FINDINGS:

After hearing and due deliberation, on motion made by John Priestley, and seconded by Wade Keene, it was voted:

1. To grant a Special Permit in Case No. 14-10, for the extension or alteration set forth in paragraph # 5 of this Decision, with any conditions, safeguards, and limitations that may be contained in paragraph # 6 of this Decision, and further to incorporate as the reasons therefore, that the Board of Appeals has made the preceding findings of fact set forth in paragraphs #s 2, 3, and 4 of this Decision.
2. In accordance with sections 1331 of the Bourne Zoning bylaws, it is the finding of the Board of Appeals that the proposed use  
 will  
 will not  
have adverse effects which over-balance its beneficial effects for either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site.
3. In connection with the finding in paragraphs # 2 and # 4 of this decision, the Board of Appeals has considered that the proposed extension or alteration:  
a)  will  
 will not  
have an adverse effect upon pedestrian and vehicular flow and safety;  
b)  will  
 will not  
have an adverse affect upon the adequacy of utilities and other public services;  
c)  will  
 will not

have an adverse impact upon the natural environment,  
will  
 X will not  
have an adverse affect upon nearby developed premises.

e)  will  
 X will not  
be visually incompatible with the surroundings;

f) in Water Resource Districts,  
 will  
 X will not  
have an excessive contribution to the cumulative impact upon public water supplies.

g) Other criteria affecting the Board's decision (if any):

4. In accordance with section 2320 of the Bourne Zoning bylaws, it is the finding of the Board of Appeals that the extension or alteration by Special Permit

will  
 X will not  
be substantially more detrimental to the neighborhood than the existing non conforming use for the reasons stated in paragraphs # 2 and # 3 of this Decision, and for the following additional reasons, if any. In accordance with Section 2450 of the Bourne Zoning By-laws, the Board of Appeals finds that there is good cause to grant the Special Permit as failure to do so would result in exceptional hardship to the applicant. The departure is the minimum necessary to grant relief and is not greater than 10% of the calculated area.

5. The pre-existing non-conforming structure or use may be extended or altered as follows:  
The applicant may increase the maximum gross floor area of the lot by 10%. The proposed addition may include a two story connector attaching a garage with a bedroom and bathroom on the second floor.

6. Conditions, Safeguards, and Limitations: The existing shed must be removed. The alterations must conform to the plans submitted and cited above, dated 11/24/09 and 10/22/09.


7. Voting in Favor of the Motion: Lou Berger, John Priestley, Wade Keene, Judith Riordan, Tim Sawyer.

Voting in Opposition to the Motion: None

Other Members Present: Alternate member John O'Brien

  
Board of Appeals

I hereby certify that 30 days have elapsed after the decision was filed in the office of the Town Clerk of Bourne and no appeal has been filed in accordance with Section 17, Chapter 40A of the Massachusetts General Laws.

  
Town Clerk of Bourne



**TOWN OF BOURNE  
INSPECTORS' DEPARTMENT  
24 Perry Avenue  
Buzzards Bay, MA 02532  
Tel. 508-759-0615  
Fax. 508-759-0611**



March 29, 2010

92 7108 2133 3934 1109 2247

To: Alexander Partridge  
PO Box 230  
Calumet, MA 02534

Re: Permit application at 57 Depot Road - Garage

Dear Sir:

In reviewing your application for a permit to construct a garage addition, this permit cannot be granted because:

- it exceeds the *Gross Floor Area* requirements of section 2450 of the Bourne Zoning Bylaws by 505 square feet.
- 

If you have any questions, please contact us at 508-759-0615 ext. 3.

Sincerely,

*Roger Laporte*  
Roger Laporte

Inspector of Buildings, Town of Bourne  
Zoning Enforcement Officer, Town of Bourne

RL/kug



# Town of Bourne Inspection Department

24 Perry Avenue  
Buzzards Bay, MA 02532  
(P) 508-759-0615 ext. 3  
(F) 508-759-0611



DATE: 3-25-10 HOUR: 10:15 FILE: 279-

ADDRESS OF PROJECT: 57 DEPOT RD. CATAMET, MA, 02534

OWNER'S NAME: ALEXANDER PARTRIDGE

OWNER'S MAILING ADDRESS: PO BOX 230 PHONE: 563-2603  
CATAMET

\* Cell: 208-294-5552

SITE INFORMATION ENGINEERING DEPARTMENT ONLY			
MAP: <u>S1-2</u>	AREA: <u>14,080 sq. ft.</u>	FLOOD ZONE: <u>X</u>	
PARCEL: <u>44-1</u>	FRONTAGE: <u>78.83'</u>	ELEVATIONS:	
LOT #: <u>A</u>	1/4 MILE OF COAST: <u>YES</u>	WETLANDS: <u>NO</u>	
AGE:			
ZONING DISTRICT: <u>R-90</u>	TOWN SEWER:	SEWER:	<input checked="" type="checkbox"/>
WATER RESOURCE DISTRICT: <u>YES</u>	TOWN WATER: <input checked="" type="checkbox"/>	WELL:	
OVERLAY: <u>NO</u>	RECORDED: <u>YES</u>		

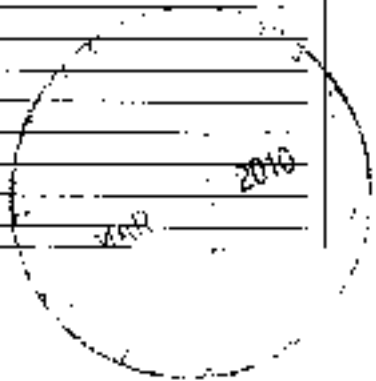
**DESCRIPTION OF PROPOSED WORK**

NEW CONSTRUCTION \_\_\_\_\_ EXISTING BUILDING \_\_\_\_\_ OWNER OCCUPIED   
 ADDITION  REPAIRS \_\_\_\_\_ DEMOLITION \_\_\_\_\_ ACCESSORY BLDG. \_\_\_\_\_  
 OTHER SPECIES: \_\_\_\_\_

BRIEF DESCRIPTION OF PROPOSED WORK:

24 x 26 GARAGE w/ BATH & BEDROOM ON  
SECOND FLOOR CONNECTED TO EXISTING HOUSE

SP 14-10



BUILDING CHARACTERISTICS OF PROPOSED WORK

	<u>FIRST FLOOR</u>	<u>SECOND FLOOR</u>	<u>THIRD FLOOR</u>
LENGTH	-----	-----	-----
WIDTH	-----	-----	-----
ELS OR ADDITIONS	<u>7 x 15</u>	<u>7 x 15</u>	-----
SQ. FT. PER FLOOR	-----	-----	-----
GARAGE: <u>24</u> x <u>26</u>		Sq. Ft. <u>625</u>	
TOTAL SQUARE FOOT OF BUILDING: <del>7000</del> <u>1115</u>			

PERMITS FOR 50,000 SQ. FT.

NUMBER OF STORES: 2                      NUMBER OF BEDROOMS: 1  
 HEIGHT: 23'                                  NUMBER OF BATHROOMS: 1  
(TO CORNER WINDOW)                      NUMBER OF KITCHENS: \_\_\_\_\_  
 % OF LOT COVERAGE: 21                      \_\_\_\_\_  
 % OF GROSS FLOOR AREA: 21                      \_\_\_\_\_

TYPE OF HEAT:  
 GAS: X                      OIL: \_\_\_\_\_                      ELECTRIC: \_\_\_\_\_

COMMERCIAL

USE GROUP: \_\_\_\_\_                      TYPE OF CONSTRUCTION: \_\_\_\_\_  
 SPRINKLER SYSTEM: YES/NO                      PARKING SPACES: \_\_\_\_\_                      HANDICAP SPACES: \_\_\_\_\_  
 ENGINEER / ARCHITECT: \_\_\_\_\_  
 CONTACT INFORMATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SET BACKS

82'                      FEET FROM FRONT                      29.5'                      FEET FROM LEFT  
57'                      FEET FROM REAR                      18.9'                      FEET FROM  
 RIGHT



ESTIMATED COSTS (EXCLUDING COSTS)	
ITEMS	AMOUNT
PERMITS	\$40,000
EXCAVATION	\$2,000
FOUNDATIONS	\$2,000
MICROSEISMIC IMPACT	
MICROSEISMIC REPAIRS	
TOTAL PROJECT COST	\$50,000

LICENSED CONTRACTOR SUPERVISOR (M.G.L.C. 149A)

NAME OF CSL HOLDER \_\_\_\_\_

ADDRESS \_\_\_\_\_

SIGNATURE \_\_\_\_\_

TELEPHONE \_\_\_\_\_

LICENSE NUMBER \_\_\_\_\_ EXPIRES DATE \_\_\_\_\_

REGISTERED HOME IMPROVEMENT CONTRACTOR (M.G.L.C. 149A)

BUSINESS NAME (IF DIFFERENT FROM NAME) \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY/STATE \_\_\_\_\_

PHONE/FAX \_\_\_\_\_

REGISTRATION NUMBER \_\_\_\_\_

TYPE	DESCRIPTION
B	RESIDENTIAL BUILDING PERMIT
R	RESIDENTIAL ELECTRICAL PERMIT
M	MERCHANDISE PERMIT
RC	RESIDENTIAL COMMERCIAL PERMIT
MS	RESIDENTIAL MECHANICAL PERMIT
SI	SEWER INSTALLATION PERMIT (EXCEPT FOR PERMITS UNDER 149A)
D	RESIDENTIAL DEMOLITION PERMIT

**WORKERS' COMPENSATION INSURANCE AFFIDAVIT (M.G.L.C. 152 § 25(1)(d))**

Workers' Compensation Insurance Affidavit must be completed and submitted with this application. Failure to provide this Affidavit will result in the denial of the issuance of the building permit.

Signed Affidavit Attached? Yes  No

**OWNER AUTHORIZATION (THIS COMPLETE WITH OWNER'S AGENT OR CONTRACTOR APPLICANT FOR BUILDING PERMIT)**

I, \_\_\_\_\_, as Owner of the Subject property hereby authorize \_\_\_\_\_ as my agent to act on my behalf in all matters relating to the above described building permit application.

Signature of Owner (Signed Under the penalty and penalties of perjury) \_\_\_\_\_ Date \_\_\_\_\_

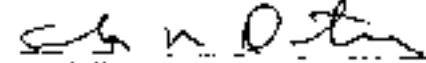
I, \_\_\_\_\_, as Owner or Authorized Agent here by, declare that the information on the foregoing application is true and accurate to the best of my knowledge and belief.

Print Name: \_\_\_\_\_

Signature of Owner \_\_\_\_\_ Date \_\_\_\_\_

**OWNER RESPONSIBILITY FOR BUILDING PERMIT**

An Owner who obtains a building permit to do his/her own work, or an owner who hires a contractor (not registered in the Home Improvement Contracting (MIC) Program), will not have access to the arbitration program or guaranty fund under M.G.L.c. 149A. Other important information on the MIC Program and Contracting Supervisor Licensing (CSL) can be found in 80 CMR Regulations. Owner's responsibility.

Owner's Signature:  Date: 7-22-10



**Key:** 10884

**Town of Bourne - Fiscal Year 2010**

11-2009  
10884

PARTNOR ALBEXAMER METUX			CLASS			QUOTAS			DESCRIPTION		
C1	C1	C1	100	100	100	100	100	100	100	100	100
100	100	100	100	100	100	100	100	100	100	100	100
100	100	100	100	100	100	100	100	100	100	100	100

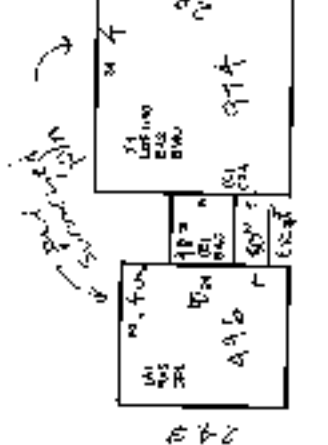
PROPERTY HISTORY	QUAS	ASSESSMENT
TRANSFER HISTORY	100	100
DATE	PRICE	VAL
10/20/09	150,000	187,040
10/20/09	150,000	187,040
10/20/09	150,000	187,040



ASSESSED	CURRENT	PREVIOUS
187,040	187,040	187,040
187,040	187,040	187,040
187,040	187,040	187,040

PROPERTY	VAL	RENT
100	100	100
100	100	100
100	100	100

BUILDINGS	CD	CON	UNIT	PRICE	RENT
100	100	100	100	100	100
100	100	100	100	100	100
100	100	100	100	100	100



UNITA	CON	AREA	PRICE
100	100	100	100
100	100	100	100
100	100	100	100

DESCRIPTION	ADJ	PRICE
FOUNDATION	100	100
FLOORING	100	100
ROOF COVER	100	100

STAIRS	100	100
BATHS	100	100
KITCHENS	100	100
BEDROOMS	100	100
FIXTURES	100	100
GARAGE CAPACITY	100	100
WATER FINISH	100	100
DRIVEWAY	100	100
PAVEMENT	100	100
LANDSCAPE	100	100
CONCRETE	100	100
GLASS	100	100

10884

# 57 Depot Rd MS.2 P44.1 NON CONFORMING LOT COVERAGE WORKSHEET

Section 2456. Table:

( $\text{exist } 15\% \text{ D} = 476$   
 $= 2036$ )

Lot Size	14,080	Max Gross Floor Area		Lot Coverage (footprint)	
% used to determine GFA requirements	21%	First floor $\text{per } 4 \text{ units} = 1560$	1560	Dwelling	670
Maximum GFA =	2957	Second floor $\text{per } 4 \text{ units} = 476$	476	Garage	624
% used to determine lot coverage requirements	22%	Garage proposed	624	Deck/Porch	366
Maximum Lot coverage =	3098	Porch $\text{exist } 50$	exc. pt	Shed	198
		Basement	exc. pt	Storage container	
		Other proposed 1st floor hall	110	Gazebo	
		proposed porch	200	Swimming pool	
		prop 2nd floor	492	Steps	32
Building Height (also see definition)		Total:	3462	Total	2890

Nonconforming Lot Size (square feet)	Maximum Gross Floor Area To Lot Area	Maximum Lot Coverage	Maximum Building Height
Less than 6,000	25%	25%	25 feet
6,000 to < 7,000	25%	25%	26 feet
7,001 to < 8,000	21%	25%	27 feet
8,001 to < 9,000	24%	25%	28 feet
9,001 to < 10,000	23%	25%	29 feet
10,001 to < 11,000	23%	25%	30 feet
11,001 to < 12,000	22%	24%	31 feet
12,001 to < 13,000	22%	23%	32 feet
13,001 to < 14,000	21%	22%	33 feet
14,001 to < 15,000	21%	21%	34 feet
15,001 or more	20%	20%	35 feet

3462  
- 2957  
= 505 over  
max GFA  
  
2957 x 10%  
= 296  
max relief  
grantable by 296

505 - 296 = 209 s.f.  
Maximum Lot Coverage: other 100% gross area includes all terraces, decks, porches, decks, sheds, gazebos, storage containers over 75 s.f., swimming pool & over 4000 gallons.

**Maximum Gross Floor Area (GFA):**

The sum of all horizontal floor areas for all residential structures on the same lot, including garages, barns, sheds, covered porches. Measurements taken from interior face of exterior walls.

\*Does not include 1 story garages of ~~area~~ of 480 s.f., porches less than 200 s.f., decks, patios/basements w/ walls ~~less~~ than 50% below grade & areas less than 6'6" floor to ceiling, providing ~~area~~ penetrations (doors, skylights) & not accessed by fixed stairs.

2457 Departure. The Board of Appeals may for "good cause" grant a Special Permit for departure from the requirements of Table 2456 but only in the case of Maximum Gross Floor Area and Maximum Lot Coverage in either case provided that all the following are shown:

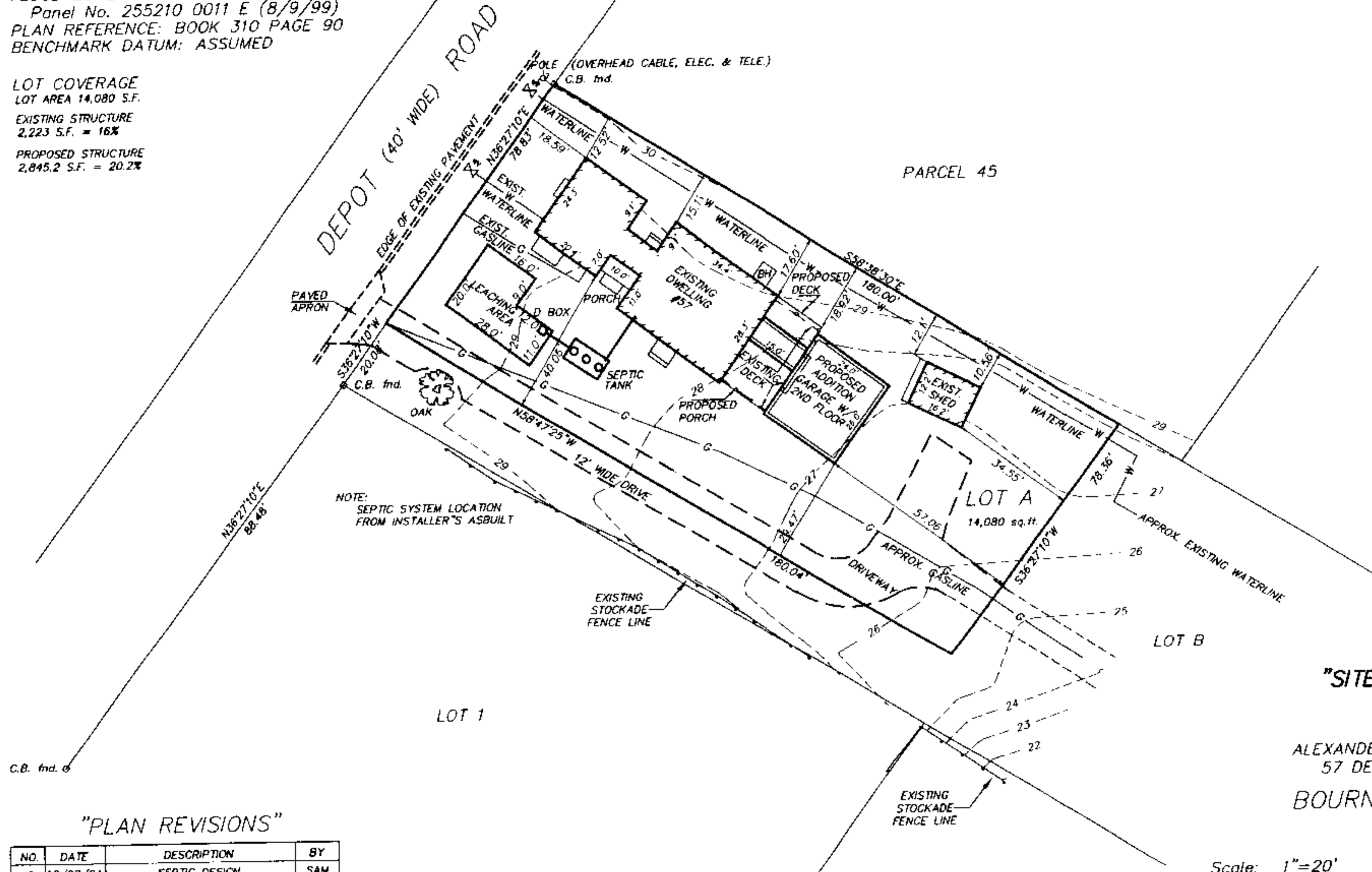
Good and sufficient cause; failure to grant the departure would result in exceptional hardship to the applicant; or conflict with existing laws.

The departure must be the minimum necessary to afford relief and not exceed an increase greater than ten percent (10%) of the calculated area.

Example: Lot Size 10,000 s.f. x 23% = 2300 s.f. (GFA allowed). Maximum relief allowed upon evidence of exceptional hardship, 2300 s.f. x 10% = 230 s.f.  
Total GFA = 2530 s.f.

ZONE: R-40  
 MAP: 51.2 PARCEL: 44.1  
 FLOOD ZONE: X  
 Panel No. 255210 0011 E (8/9/99)  
 PLAN REFERENCE: BOOK 310 PAGE 90  
 BENCHMARK DATUM: ASSUMED

LOT COVERAGE  
 LOT AREA 14,080 S.F.  
 EXISTING STRUCTURE  
 2,223 S.F. = 16%  
 PROPOSED STRUCTURE  
 2,845.2 S.F. = 20.2%



NOTE:  
 SEPTIC SYSTEM LOCATION  
 FROM INSTALLER'S ASBUILT

**"SITE PLAN"**

FOR  
 ALEXANDER PARTRIDGE  
 57 DEPOT ROAD  
 BOURNE, MASS.

Scale: 1"=20' Date: 11/24/09

**Warwick & Associates Inc.**  
 63 County Road Box 801  
 North Falmouth, Mass 02556  
 (508) 563 - 7777

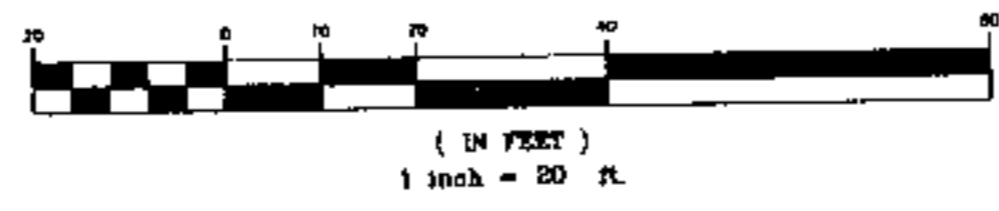
DWG: PARTZ09PROP REV:

**"PLAN REVISIONS"**

NO.	DATE	DESCRIPTION	BY
1	10/08/04	SEPTIC DESIGN	SAM
1	11/16/09	PROPOSED ADDITION	DPH

DRAWN BY: CSL DATE: 9/08/04  
 CHECKED BY: SHEET 1 OF 1  
 P:\Land Projects 2004\PARTRG\dwg\PARTZ09PROP.DWG

**GRAPHIC SCALE**



*Gary S. Labrie*



Make



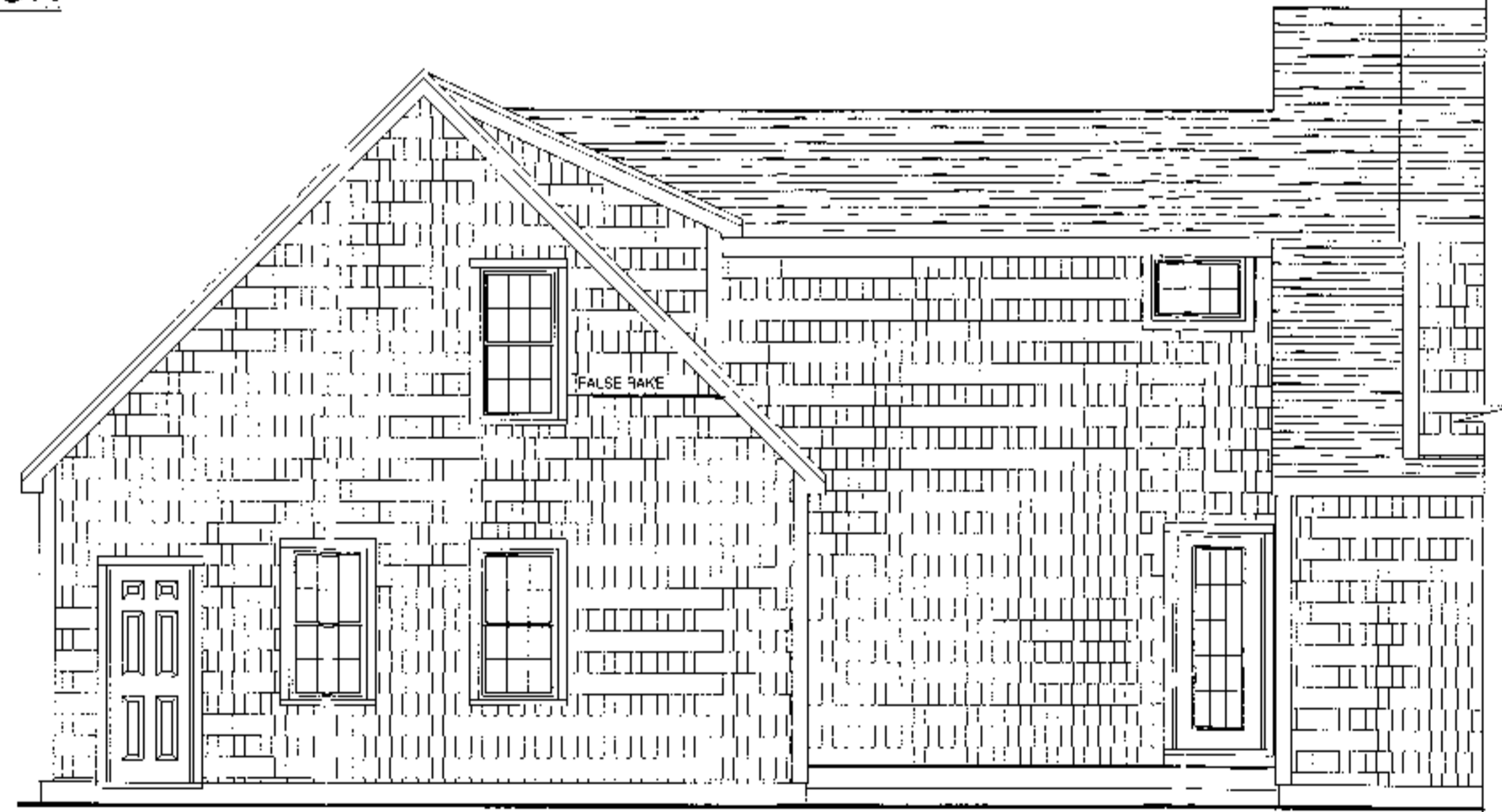
**PROPOSED FRONT ELEVATION**

110 MPH EXPOSURE 'B' WIND ZONE:

The Proposed Architectural Drawings are to be in Compliance with the Building Code-Referenced ANSI/AP & PA 2001 Wood Frame Construction Manual (WFCM) for 1&2 Family Dwellings.

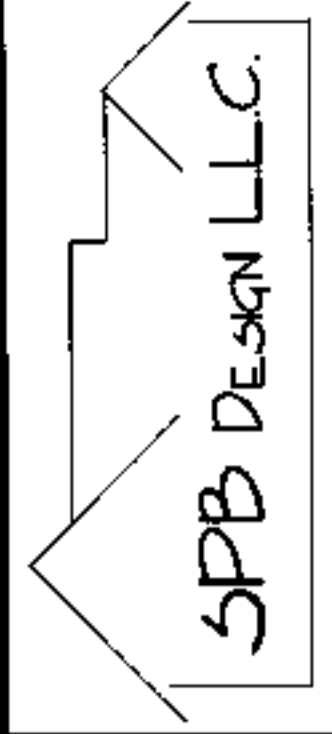
**GENERAL NOTES:**

- A. 1. Before final Drawings and Specifications are issued for construction, they shall be submitted to all governing building agencies to insure their compliance with all applicable local and national codes. If code discrepancies in Drawings and/or Specifications appear, the Designer shall be notified of such discrepancies in writing by Builder or building official, and allowed to alter Drawings and Specifications so as to comply with governing codes before construction begins.
- 2. Upon written receipt of approval from the governing official, approved final Drawings and Specifications shall be submitted to the Builder by the Designer.
- 3. If code discrepancies are discovered during the construction process, Designer shall be notified and allowed ample time to remedy said discrepancies.
- 4. All work performed shall comply with all applicable local, state and national building codes, ordinances and regulations, and all other authorities having jurisdiction. Following is a partial list of applicable codes in force:
  - a. Massachusetts State Building Code, 780CMR, 7th edition.
- B. All contractors, subcontractors, suppliers, and fabricators, shall be responsible for the content of Drawings and Specifications and for the supply and design of appropriate materials and work performance.
- C. All manufactured articles, materials and equipment shall be apted, installed, erected, used, cleaned and conditioned in strict accordance with manufacturers recommendations.
- D. All alternates are at the option of the Builder and shall be at the Builders request constructed in addition to or in lieu of the typical construction, as indicated on Drawings.
- E. SPB Design LLC is not responsible for any plan discrepancies. Builder & Homeowner to review plans before start of construction.



**PROPOSED REAR ELEVATION**

0402 037



**SPB Design LLC**

RESIDENTIAL/COMMERCIAL  
DESIGN, DRAFTING & CONSULTING

P.O. BOX 383  
EAST FALMOUTH, MA.  
(508)495-2881

ADDITIONS/RENOVATIONS DESIGN

PARTRIDGE RESIDENCE

57 DEPOT RD.  
CATAUMET, MA.

SCALE 1/4"=1'-0"

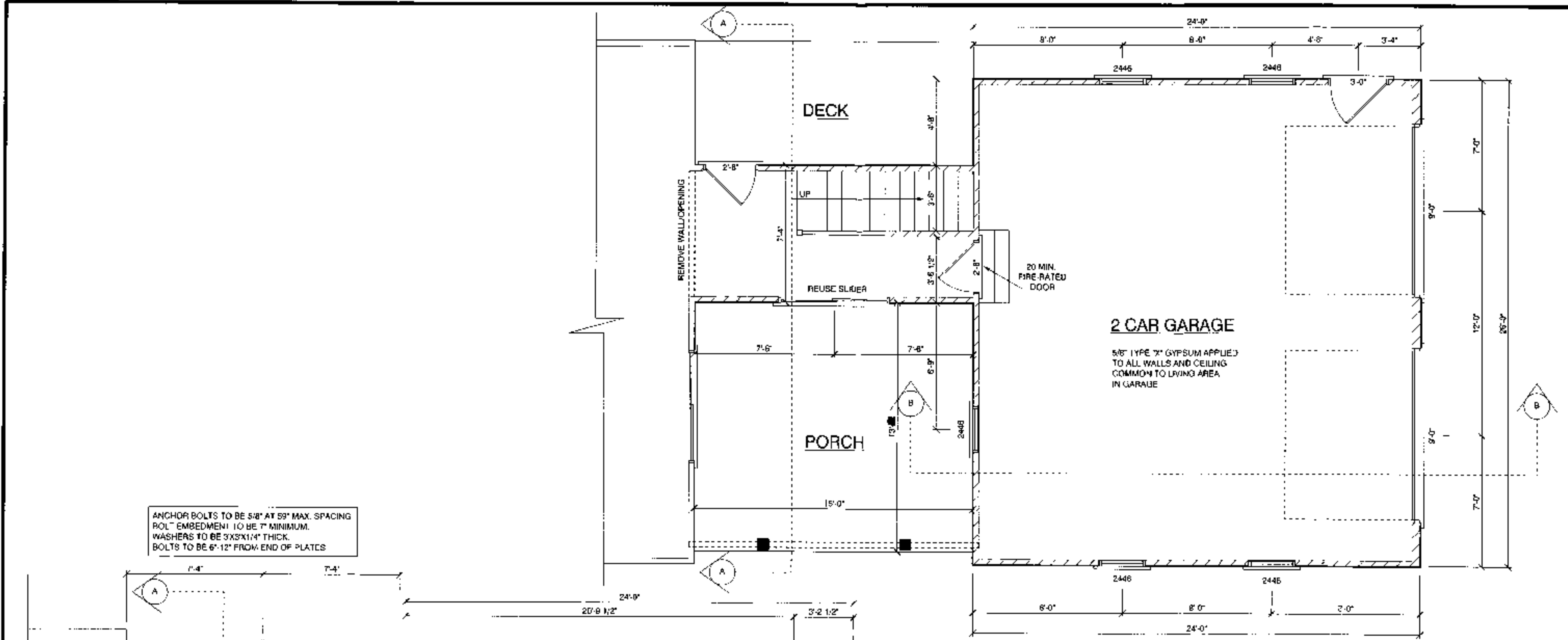
DATE 10/22/09

DRAWN BY SPB

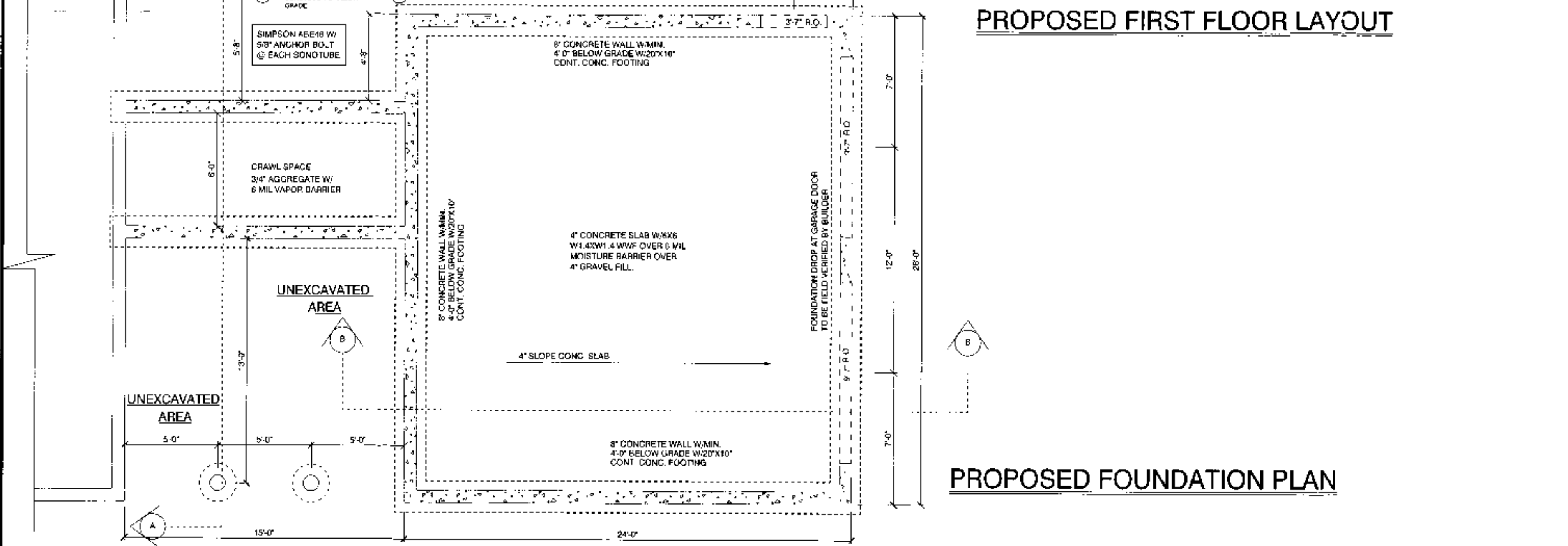
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**PROPOSED FIRST FLOOR LAYOUT**

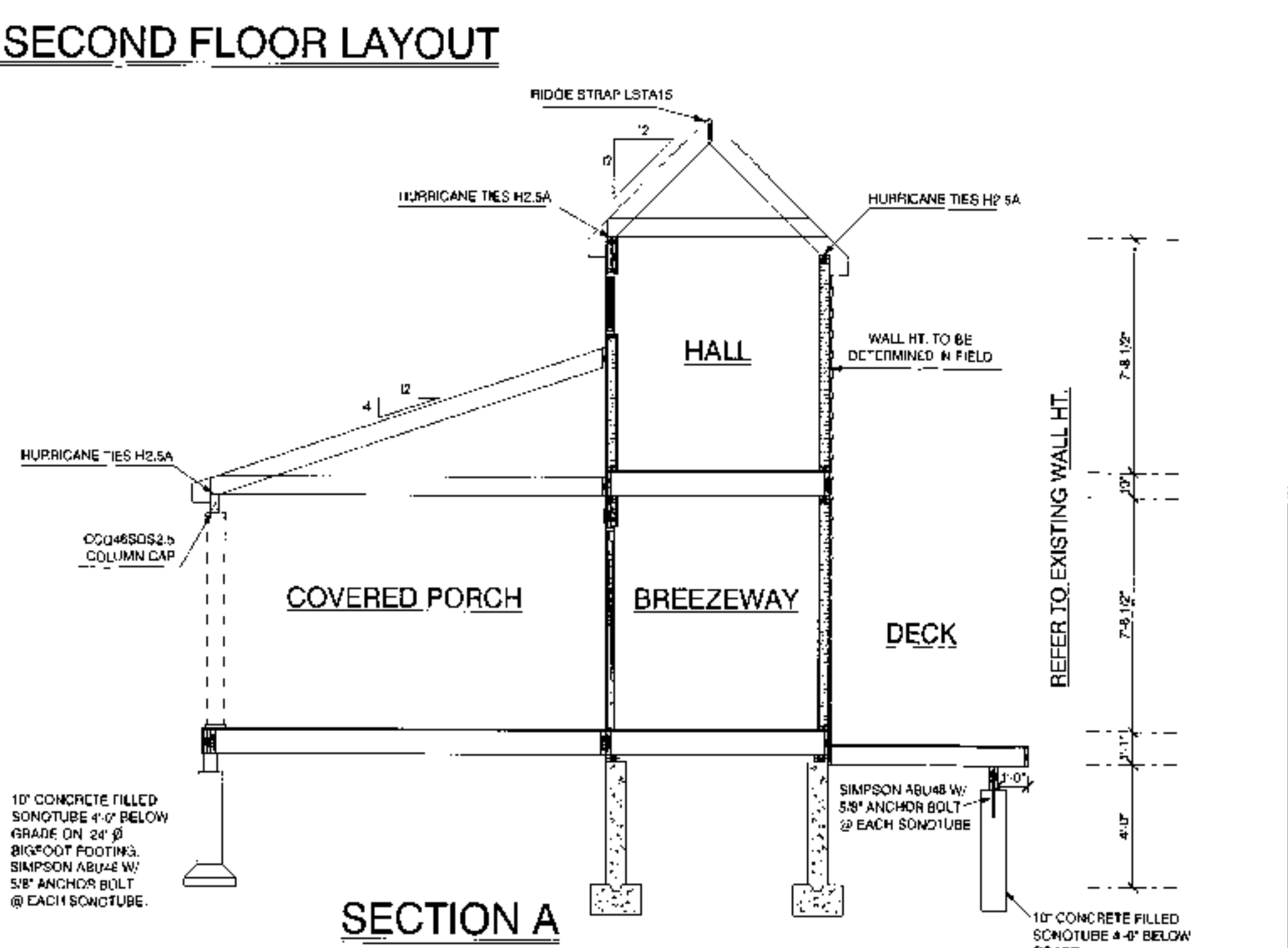
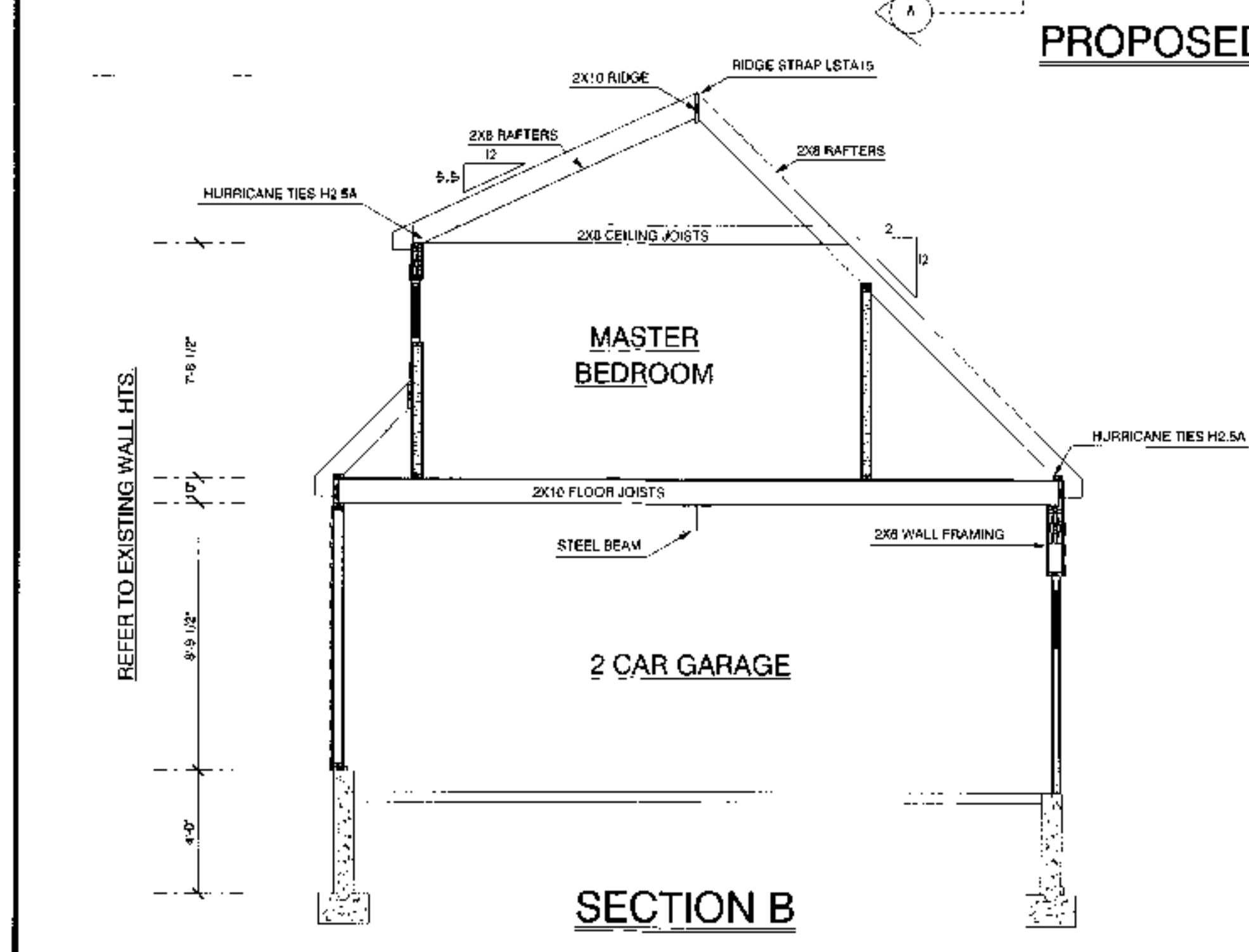
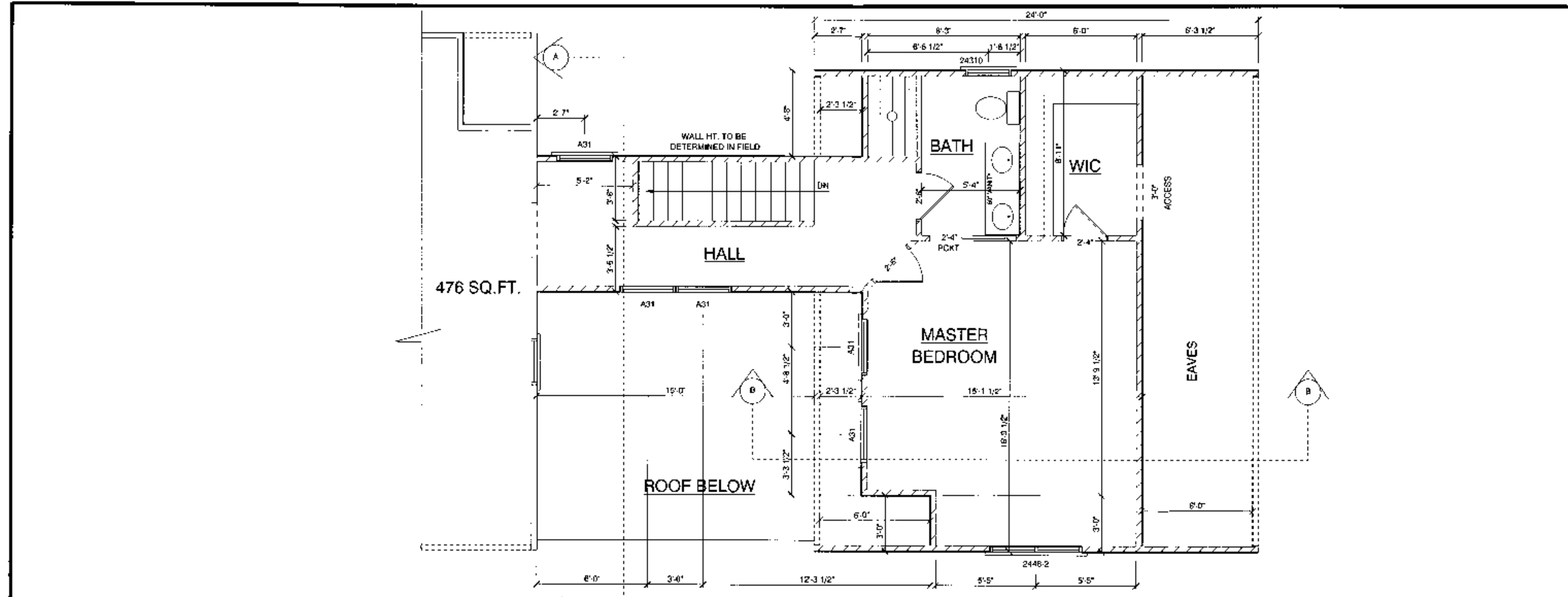


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ADDITIONS/RENOVATIONS DESIGN  
 PARTRIDGE RESIDENCE  
 57 DEPOT RD.  
 CATAUMET, MA.

SCALE 1/4"=1'-0"  
 DATE 10/22/09  
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CATAUMET, MA.

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SCALE: 1/4" = 1'-0"

DATE: 10-22-09

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**FRAMING NOTES**

**FLOOR BRACING**

BLOCKING & CONNECTIONS SHALL BE PROVIDED AT PANEL EDGES PERPENDICULAR TO FLOOR FRAMING MEMBERS IN THE FIRST TWO TRUSS OR JOIST SPACES AND SHALL BE SPACED AT A MAXIMUM 4 FEET ON CENTER. NAILING REQUIREMENTS ARE: BLOCKING TO JOIST - 2 8d FOR COMMON NAILS & AT EACH END FOR FURTHER INFORMATION REFER TO PG.7 TABLE 2 OF THE WFCM 110 MPH EXPOSURE B WIND ZONE (GUIDE)

**FLOOR SHEATHING FASTENING**

NAILING REQUIREMENTS ARE: 3/4" T&G CDX PLYWOOD OR EQUAL NAILING TO BE 8d FOR COMMON NAILS WITH SPACING AT 6" EDGE/12" FIELD. FURTHER INFORMATION REFER TO PG.7 TABLE 2 OF THE WFCM 110 MPH EXPOSURE B WIND ZONE (GUIDE).

**WALLS**

LOAD BEARING WALLS TO HAVE A MAXIMUM HEIGHT OF 10'-0"  
NON-LOAD BEARING WALLS TO HAVE A MAXIMUM HEIGHT OF 20'-0"  
WALL SPACING TO BE 2X4 @ 16" O.C.  
WALL AT GARAGE DOORS TO 2X6 @ 16" O.C.

**EXTERIOR WALLS**

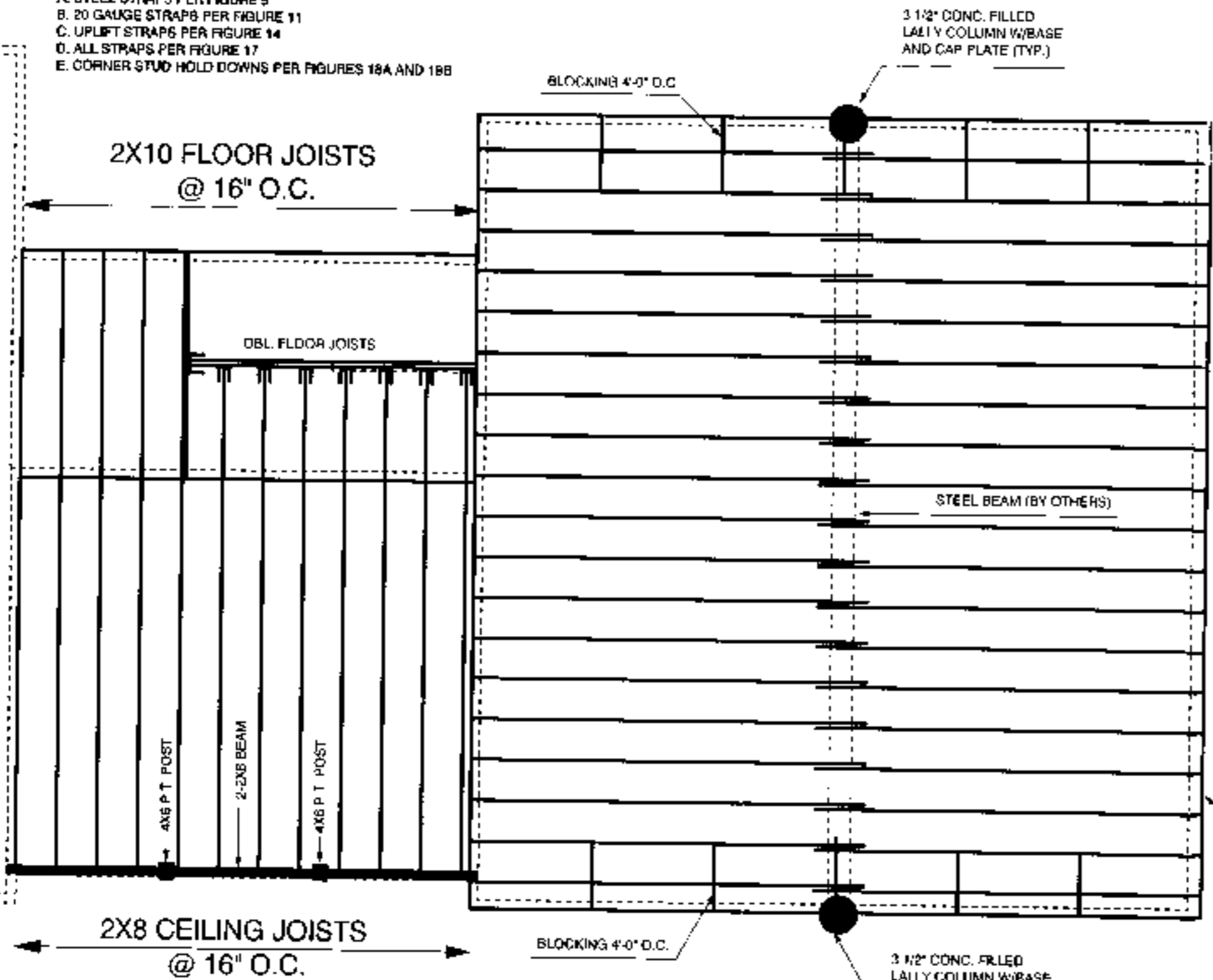
WOOD STUDS: LOAD BEARING WALLS TO HAVE A MAXIMUM HEIGHT OF 9'-0"  
NON-LOAD BEARING WALLS TO HAVE A MAXIMUM HEIGHT OF 9'-0"  
WALL SPACING TO BE 2X4 @ 16" O.C.  
WALL AT GARAGE DOORS TO 2X6 @ 16" O.C.  
STUDS IN GABLE END WALLS: ADJACENT TO CATHEDRAL CEILINGS SHALL BE CONTINUOUS FROM THE CEILING DIAPHRAM OR TO THE ROOF DIAPHRAM. DOUBLE TOP PLATE. SPLICE LENGTH = 4 FT. MINIMUM WITH 14- 16d COMMON NAILS EACH SIDE OF SPLICE.  
WALL OPENINGS: HEADERS TO BE 2X10 WITH 3- FULL HEIGHT STUDS (UNLESS NOTED). EXTERIOR WALL SHEATHING: SHEATHING TYPE TO BE 1/2" NAILED 4" O.C. EDGES: 1/2" O.C. IN FIELD. SHEATHING (FULL SHEETS) TO SPAN FROM RIM JOISTS TO RIM PLATE TO TOP PLATE.

**ROOFS**

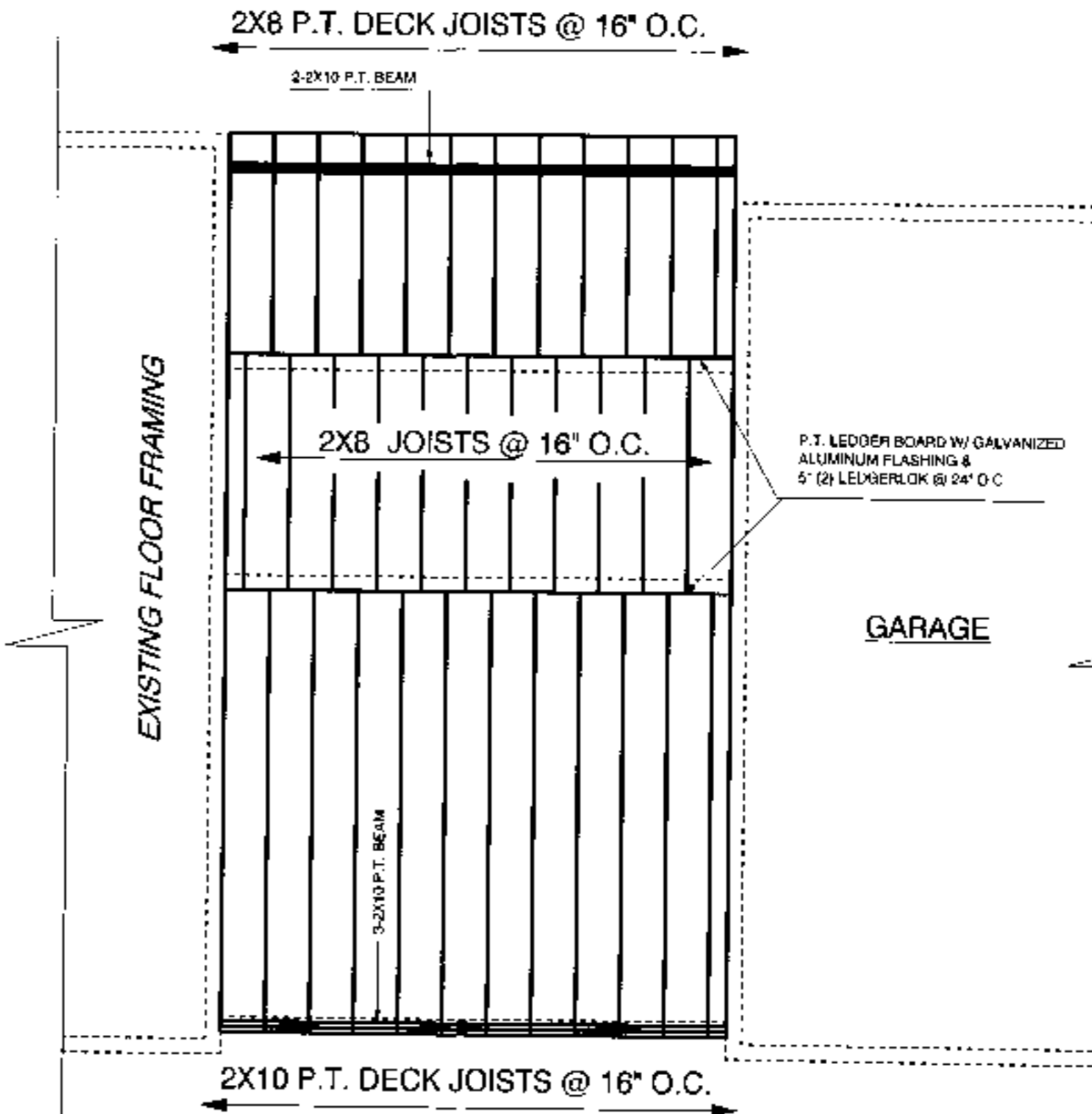
ROOF OVERHANGS TO BE 1'-0" OR LESS.  
HURRICANE TIES TO BE SIMPSON H2.5A.  
RIDGE STRAP CONNECTION TO BE SIMPSON LSTA15  
1/2" CDX PLYWOOD FASTENED WITH 8d COMMON NAILS @ 6" EDGE/8" FIELD.  
GABLE END WALL RAKE W/LOOKOUT BLOCKS TO BE 8d COMMON NAILS @ 4" EDGE/4" FIELD.  
BLOCKING TO BE PROVIDED IN FIRST TO RAFTERS/ ROOF TRUSSES @ 4'-0" O.C.

NOTE: THIS CHECKLIST SHALL BE MET IN ITS ENTIRETY. IF THE CHECKLIST IS MET IN ITS ENTIRETY THEN THE FOLLOWING METAL STRAPS AND HOLD DOWNS ARE NOT REQUIRED PER THE WFCM 110 MPH GUIDE:  
A. STEEL STRAPS PER FIGURE 8  
B. 20 GAUGE STRAPS PER FIGURE 11  
C. UPLIFT STRAPS PER FIGURE 14  
D. ALL STRAPS PER FIGURE 17  
E. CORNER STUD HOLD DOWNS PER FIGURES 18A AND 18B

NOTE: REFER TO AMERICAN WOOD & PAPER ASSOC. PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE



**SECOND FLOOR FRAMING PLAN**



**FIRST FLOOR FRAMING PLAN**

2X10 FLOOR JOISTS @ 16" O.C.

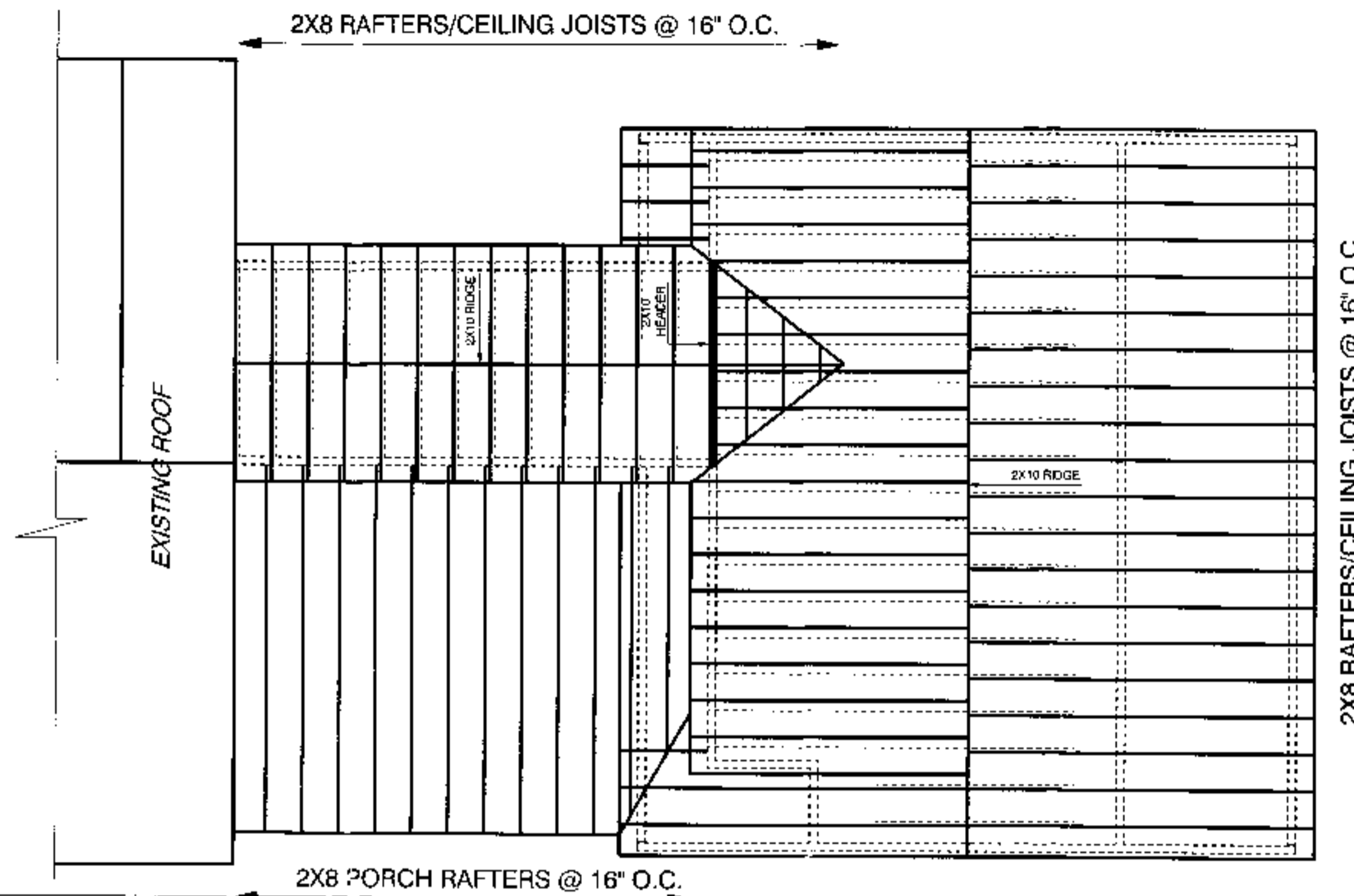
REFER TO GARAGE OPENING DETAIL

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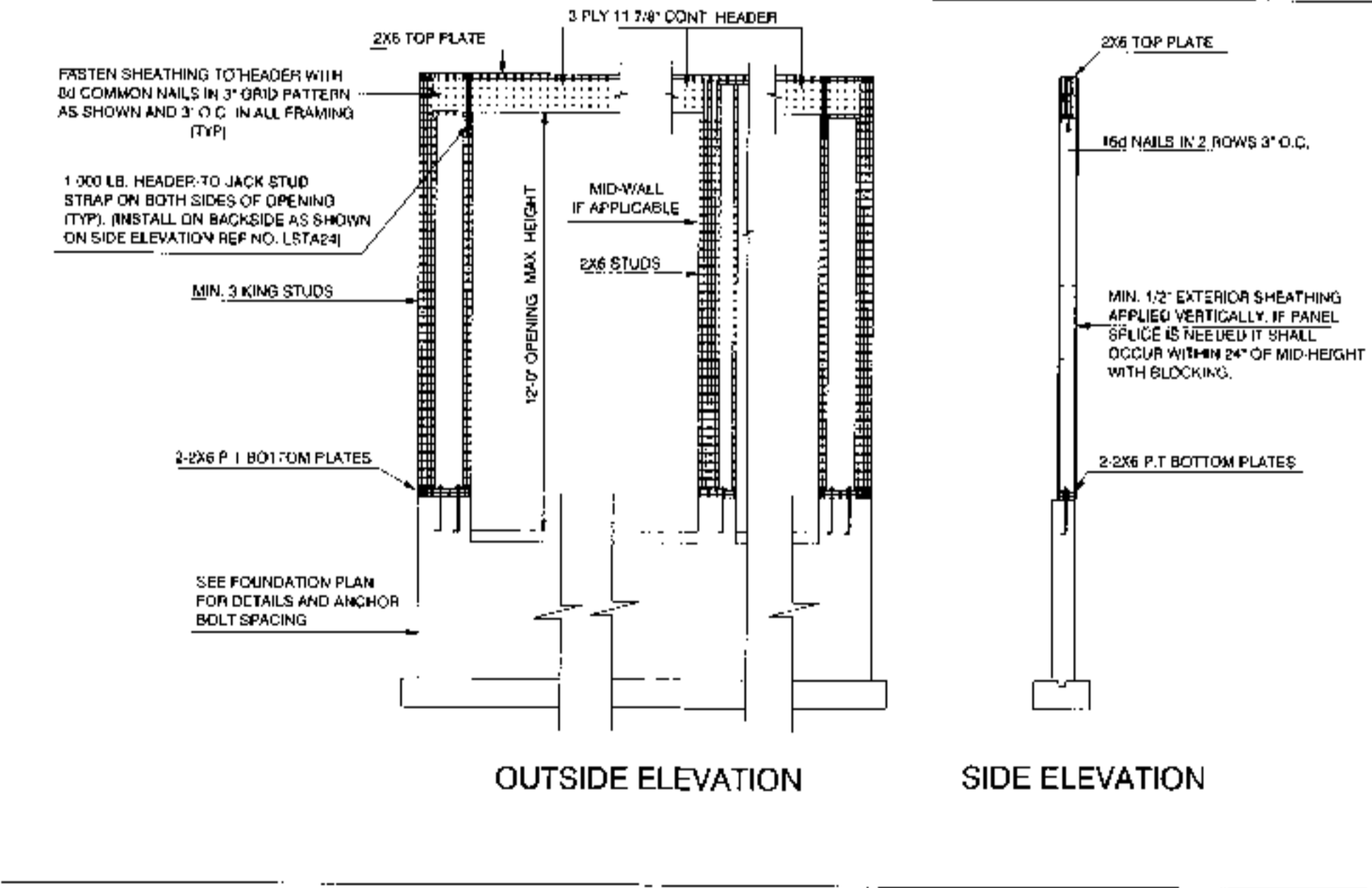
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**ROOF/CEILING FRAMING PLAN**



**110 MPH GARAGE DOOR DETAIL**  
SCALE: 1/4" = 1'-0"

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