



435 Devon Park Drive  
 Building 200  
 Wayne, Pa. 19087

The AUGUSTA Collection  
 Raven's Claw - Master

DRAWING SCALE

1/8" = 1'-0" unless noted otherwise

DRAWING INDEX

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CONSTRUCTION DATA

ISSUE DATE FOR REVIEW: 9/2006  
 ISSUE DATE:  
 REV DATE:  
 CODE: IRC 2006

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SQUARE FOOTAGE DATA

SQUARE FOOTAGES	
COLONIAL	
1st Floor	1364
2nd Floor	1333
TOTAL LIVING	2697
Expanded Morning Room	add 47
In Law Suite	add 80
Basement	1364
Garage	495

REVISIONS



General	Garage Fire Rating	Concrete	Stairways (Continued)																																									
<p>The General Contractor shall check and verify all existing conditions and dimensions at the site against the drawings and notify the Architect of discrepancies prior to work. All Design changes shall be approved by the Architect.</p> <p>The "Contractor(s)" are responsible for the quality of workmanship and the selected materials for construction. The Architect shall not be responsible for construction means, methods, techniques or safety precautions, for acts of omission by any persons performing any of the work or failure of any of the above to carry out the work in compliance with the contract documents.</p> <p>Each Subcontractor shall obtain necessary permits for their respective trade or work. All contractors to comply with all applicable codes and ordinances.</p> <p>These drawings are the sole property of the Architect. They are provided to the owner and contractors for their use with respect to this project only. The Architect shall be deemed the author of the drawings and retain all common law, statutory, reserved rights and copyright. Any use or reproduction of these drawings in whole or in part, other of the Architect is prohibited.</p> <p>The use of these drawings for construction purposes by anyone other than a PROFESSIONAL BUILDER is strictly prohibited.</p> <p>of all responsibility from any errors or omissions resulting from the use of these documents by anyone other than a licensed and insured professional.</p> <p>ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST GOVERNING BUILDING CODE(S) AND ADDENDUM(S) ADOPTED BY THE LOCAL TOWNSHIP AND/OR BOROUGH.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND ACCOMMODATION OF PLUMBING AND ELECTRICAL. (MECHANICAL SYSTEMS)</p> <p>NO STRUCTURAL OR ARCHITECTURAL CHANGES SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE ARCHITECT.</p> <p>CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.</p>	<p>1 LAYER 5/8" TYPE X GYPSUM WALL BOARD ON GARAGE SIDE OF CEILING AND WALLS (ENTIRE GARAGE)</p> <p>OPENING BETWEEN THE GARAGE AND RESIDENCE SHALL BE A 20-MINUTE FIRE-RATED DOOR.</p> <p><b>Header Sizes</b></p> <p>All window and door header sizes to be min 2-2x10 with 1/2" plywood fitch plate located directly under the double top plate U.N.O. (unless noted otherwise)</p> <p><b>Windows</b> <small>Ref notes on sheet S-1.2 for add'l info</small></p> <p>Basements and every sleeping room shall have at least one openable emergency escape and rescue opening. Where basements contain one or more sleeping rooms emergency egress and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Windows as 2nd floor egress shall be min. 5.7 sq. ft. openable area with minimum net clear opening height of 24 inches and minimum width of 24 inches. Maximum sill height of 44 inches above the floor. All emergency escape and rescue openings shall be operational from the inside of the room without the uses of keys or tools.</p> <p><b>Moisture protection</b></p> <p>All basement walls shall be minimum dampproofed with an Asphalt Coating or Waterproofed with a System Such as "TUFF-N-DRI" or Equal. Basement &amp; garage slab where living space is located above shall have a 6 mil p.v. vapor barrier in-between the crushed stone and the conc slab.</p> <p><b>Attic Ventilation/Acess</b></p> <p>THE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL BE 1/300 THE AREA OF THE SPACE VENTILATED. A MIN OF 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATION SHALL BE PROVIDED BY RIDGE VENTS LOCATED IN THE UPPER THIRD OF THE SPACE TO BE VENTILATED WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY SOFFIT VENTS (MIN 20% AT SOFFIT). Attic access panel to be a minimum 22"x30" with a 30" minimum unobstructed vertical clearance above the opening.</p>	<p>All plain and reinforced concrete shall comply with reinforcements in ACI 318.</p> <p>Concrete used for ftgs, basement slabs, &amp; Interior slabs on grade shall be 2,500 psi min. @ 28 days Type 1 ASTM C150. Poured foundation walls shall be 3,000 psi min., air entrained 5-7% concrete Type 1A ASTM C150. All exterior concrete work, incl. porches and garage slabs, shall be nominal 4" (3-1/2" min) 3,500 psi, air entrained concrete, Type 1A ASTM C150.</p> <p>Install footings/foundation walls with a min. depth of 36" below finish grade, measured to the bottom of the conc. footing or maintain more restrictive height limitations imposed by local site/frost conditions.</p> <p>Conc. Contr. shall install min 1/2" dia. galv. mudsill anchor bolts. Reference chart on sheet S-1.2 for spacing requirements. Anchor bolts shall be located at 1'-0" max from corners (2) per plate min. and min 8" embedment installed per manufacturer's specifications.</p> <p>All foundation sill plates to be 2x6 pressure treated with sill sealer U.N.O.</p> <p>All footings must bear directly on undisturbed virgin soil with a minimum soil bearing capacity of 2,000 psf or approved compacted fill.</p> <p><b>8' Basement Foundation Walls</b> Max depth of unbalanced fill against 10" plain concrete foundation walls - 7'-0".</p> <p><b>9' Basement Foundation Walls</b> Max depth of unbalanced fill against 12" plain concrete foundation walls - 7'-0".</p> <p><b>Fire stopping</b></p> <p>Fire stopping shall be provided at all interconnections between vertical and horizontal spaces such as soffits and dropped ceilings. In concealed spaces of stud walls and partitions including furred spaces horizontally at intervals not exceeding 10 feet. Fire stopping shall also be provided in concealed spaces between stairway stringers at the top and bottom of the run, or at floor and/or roof levels; at chimneys with non-combustible materials and at vents, pipes and ducts, and chases.</p> <p>Fire stopping to be 2x lumber, 3/4" plywood, sheet metal panning, USG Thermafiber caulk or its approved equal. All caulks shall bear the ASTM E119 or E814 approved dependent upon its area of usage</p>	<p>Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height. Open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guards not less than 34 inches in height measured vertically from the nosing of the treads.</p> <p>MAX RISE = 7-3/4" (min 4") MIN TREAD = 10" NOSE TO NOSE WITH MIN NOSING OF 3/4" AND MAX OF 1-1/4"</p> <p><b>Prefab Fireplace</b></p> <p>Fireplace chimneys shall have a min. vertical distance of 2'-0" above any portion of the roof 10'-0" away.</p> <p>PREFAB GAS FIREPLACES INSTALL IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND BE UL LISTED TO UL 127 STANDARDS</p> <p>PREFAB WOOD FIREPLACES INSTALL IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND BE UL LISTED. PREFAB WOOD FIREPLACES SHALL USE AN "OUTSIDE AIR SOURCE" FOR COMBUSTION.</p> <p><b>Wood</b></p> <p>All partitions shall be 2x4 stud construction unless otherwise noted on drawings. Bearing walls shall have stud placement of 16" o.c., maximum.</p> <p>All wood in contact with concrete slabs concrete / masonry walls to be pressure treated</p> <p>The minimum grade and allowable stresses for structural wood members are:</p> <p>a.) Studs and Jacks - SPF #2 SURFACE DRY or better approximately 19% moisture content</p> <p>b.) Floor Joists - SPF #2 or better approximately 19% moisture content or Engineered "I" Joist as per plan</p> <p>c.) Trusses - as per Manufacturer's engineered drawings.</p> <p>Posts or multiple studs which directly support through all stories/floors below and shall rest directly on the basement girder or foundation. Install Solid Blockings in floor framing spaces under posts/multiple studs to transfer the loads downward without interruption. The area of the cross-section of such blocking shall not have an area less than the cross-section of the posts/multiple studs below.</p> <p>All connections and fastenings of wood products shall follow code approved WOOD FRAME CONSTRUCTION FASTENING SCHEDULE.</p>																																									
<p><b>Stucco Spec's</b></p> <p>Install over solid sheathing as follows: 15 # felt or "TYVEK" stucco wrap moisture barrier lapped to drain (or equal) 17 gauge mesh stucco wire 1" numatic staples at 2" oc at each stud First coat of stucco with raked finish (scratch) Second coat of stucco for color Third coat of stucco for finish and color as required. A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3 1/2" inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4" above earth or 2 inches above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed.</p>	<p><b>Design Loads</b></p> <table border="1"> <thead> <tr> <th rowspan="2">LOCATION / TYPE</th> <th colspan="2">LOAD</th> </tr> <tr> <th>LIVE</th> <th>DEAD</th> </tr> </thead> <tbody> <tr> <td>Living Areas</td> <td>40 psf</td> <td>10 psf</td> </tr> <tr> <td>Sleeping Areas</td> <td>30 psf</td> <td>10 psf</td> </tr> <tr> <td>Roof (ground snow)</td> <td>30 psf</td> <td>15 psf</td> </tr> <tr> <td>Stairs</td> <td>100 psf</td> <td>10 psf</td> </tr> <tr> <td>Wind</td> <td>90 mph</td> <td></td> </tr> <tr> <td>Garage</td> <td>50 psf</td> <td>70 psf</td> </tr> <tr> <td>Exterior Decks</td> <td>40 psf</td> <td>10 psf</td> </tr> <tr> <td>Balconies</td> <td>60 psf</td> <td>10 psf</td> </tr> <tr> <td>Ceilings</td> <td>20 psf</td> <td>5 psf</td> </tr> <tr> <td>Guardrails - 300# along top member, any point or direction Infill of Guardrails - 200# in / sq ft</td> <td></td> <td></td> </tr> <tr> <td>Handrails - 200# along top member, any point or direction</td> <td></td> <td></td> </tr> <tr> <td>Tile floors: Wet bed dead load = 17 psf to 27 psf</td> <td></td> <td></td> </tr> </tbody> </table>	LOCATION / TYPE	LOAD		LIVE	DEAD	Living Areas	40 psf	10 psf	Sleeping Areas	30 psf	10 psf	Roof (ground snow)	30 psf	15 psf	Stairs	100 psf	10 psf	Wind	90 mph		Garage	50 psf	70 psf	Exterior Decks	40 psf	10 psf	Balconies	60 psf	10 psf	Ceilings	20 psf	5 psf	Guardrails - 300# along top member, any point or direction Infill of Guardrails - 200# in / sq ft			Handrails - 200# along top member, any point or direction			Tile floors: Wet bed dead load = 17 psf to 27 psf			<p><b>Stairways</b></p> <p>Interior stairways shall have a minimum clear width of 36", with a minimum of 6'-8" headroom measured vertically from nosing of all treads. Measuring Vertically, Handrails shall be located at a Min. height of 34", and a max. height of 38" from the nose of the tread to the top of the rail when rail is attached to walls. Handrails which are part of guardrails to be 34"-38" above nosing of treads. Handrails shall have a maximum projection of 3 1/2" into the stair tread or landing.</p> <p>Guardrails / Risers shall not allow a 4" dia sphere to pass through. (triangular area formed by tread/riser at bottom of guard shall not allow a 6" dia sphere to pass through). Balusters shall be less than 4" apart &amp; shall not result in a ladder effect.</p> <p>HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. 2 RISERS OR LESS - NO LANDING REQUIRED. 3 RISERS OR MORE REQUIRES A 3'x3' LANDING AT DOOR THRESHOLD, DOWN MAX 1 RISER BELOW TOP OF THRESHOLD.</p>	<p><b>Electrical</b></p> <p>Install a GFI receptacle outlet within 25'-0" of HVAC mechanical equipment. Receptacles installed outdoors in a wet location shall have a in-use weatherproof enclosure. Install a switched light in the vicinity of the attic access panel. INSTALL ARC-FAULT BREAKERS ON BEDROOM CIRCUITS</p> <p><b>Smoke Detectors</b></p> <p>Smoke detectors to be located as follows: in each sleeping room, outside of each separate sleeping areas in the immediate vicinity of the bedrooms, and on each additional story of the dwelling, including the basement ALL SMOKE DETECTORS HARD WIRED AND INTERCONNECTED WITH BATTERY BACKUP</p>
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<p><b>Brick Spec's</b></p> <p>BRICK VENEER: BUILDING PAPER AT BACK OF VENEER AND OVER EXTERIOR SHEATHING WITH 1" AIR SPACE. BRICK TIES: CORROSION RESISTANT CORRUGATED METAL TIES MIN 22 GA 7/8"x8". FASTEN WITH CORROSION RESISTANT NAILS AT MAX 36" O.C. HORIZ &amp; MAX 24" O.C. VERT (1 AT 3.25 SF MIN.) TIES IN ALTERNATE COURSES SHALL BE STAGGERED. ADD'L TIES AT 36" O.C. AROUND ALL OPENINGS WITHIN 12" OF THE OPENING. WEEP HOLES: 3/16 DIA WEEP HOLES MAX 33" O.C. MAX. IN BASE COURSE HEAD IMMEDIATELY ABOVE FLASHING WITH 1" AIR SPACE FLASHING BENEATH 1ST COURSE AND ABOVE FINISH GRADE</p> <p><b>Climate and Geographic Design Criteria</b></p> <p>Climate and Geographic Design Criteria: (Subject to damage from: WEATHERING: Sever, FROST LINE DEPTH: 3'-0", TERMITES: mod/high, DECAY: slight/mod) WINTER DESIGN TEMP: 10 deg F, ICE SHIELD UNDERLAYMENT REQ'D: yes, avg low 24 deg F, FLOOD HAZARDS: Nov. 10, 2004, AIR FREEZING INDEX: 1000, MEAN ANNUAL TEMP: 51 deg F</p>	<p>Wind Category: Exposure B shall be assumed unless the site meets the definition of another type exposure, Seismic Design Category B</p>	<p>* NOTE: Local jurisdiction shall verify design loads and Climate and Geographic Design Criteria for code compliance</p>																																										

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GENERAL SPECIFICATIONS  
IRC 2006 - PA EDITION

DRAWING DATE	12/28/06
REVISION DATES	

S-1

**FLOOR JOIST SPAN TABLE (40 PSF LIVE LOAD + 10 PSF DEAD LOAD)**

SPECIES AND GRADE	16" OC	12" OC	16" OC DOUBLE EACH 32"	DOUBLE AT 16"
2X10 SPF #2	15'-5"	17'-3"	17'-11"	19'-9"
2X10 HEM FIR #2	15'-2"	16'-10"	17'-6"	19'-3"

**FLOOR JOIST SPAN TABLE (30 PSF LIVE LOAD + 10 PSF DEAD LOAD)**

SPECIES AND GRADE	16" OC	12" OC	16" OC DOUBLE EACH 32"	DOUBLE AT 16"
2X10 SPF #2	17'-2"	19'-0"	19'-8"	21'-8"
2X10 HEM FIR #2	16'-10"	18'-6"	19'-3"	21'-2"

**Deck Notes**

- ALL PRESSURE TREATED LUMBER SHALL BE PROTECTED WITH ACQ WOOD PRESERVATIVE (Alkaline Copper Quaternary) OR COPPER AZONE OR MANUFACTURER'S EQUAL CONTAINING NO ARSENIC OR CHROMIUM.
- ALL METAL FASTENERS SHALL BE RATED FOR DIRECT CONTACT WITH TREATED LUMBER (ex. hot dipped galv., stainless steel, or triple coated zinc polymer materials or approved equal)
- ALUMINUM CAN NOT BE USED IN DIRECT CONTACT WITH ACQ TREATED LUMBER. (ex. ALUM FLASHING, etc.)

- All connections and fastenings of wood products shall follow code approved WOOD FRAME CONSTRUCTION FASTENING SCHEDULE.
- All hot-dipped galvanized coated fasteners should conform to ASTM Standard A153 and all hot-dipped galvanized coated connectors should conform to ASTM Standard A653 (Class G-185).

**GENERAL NOTES**

- ALL 2x4 EXTERIOR WALLS ARE 3 1/2" WITH 1/2" SHEATHING (4" TOTAL)
- ALL 2x6 EXTERIOR WALLS ARE 5 1/2" WITH 1/2" SHEATHING (6" TOTAL)
- ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE (ROUGH FRAME DIMENSION)

**ENGINEERED I-JOIST NOTE**

BUILDER TO REFERENCE MANUFACTURER'S FRAMING LAYOUT, INSTALLATION INSTRUCTIONS AND DETAILS

**MAX DEFLECTION LIMITS OF MEMBERS**

FLOOR JOIST / BEAMS = L/360  
 ROOF BEAMS = L/240  
 RAFTERS W/ CEILING = L/240  
 RAFTERS W/O CEILING = L/180

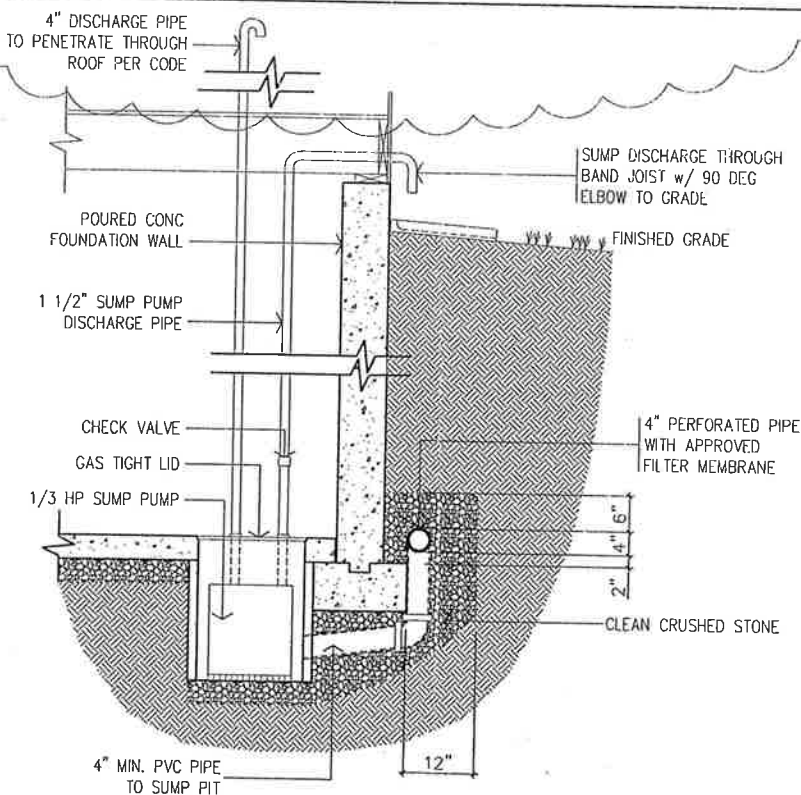
**DRYER NOTE**

THE MAX LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25 FT FROM THE DRYER LOCATION OF THE OUTLET TERMINAL. THE MAX LENGTH OF THE DUCT SHALL BE REDUCED 2-1/2 FT FOR EACH 45 DEGREE BEND AND 5 FT FOR EACH 90 DEGREE BEND.

EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND SHALL BE A MINIMUM NOMINAL SIZE OF 4 INCHES IN DIAMETER.

THE DRYER EXHAUST DUCT SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIP. WITH A BACKDRAFT DAMPER. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS.

**EXT PERIM W/ RADON**



**EXTERIOR PERIMETER DRAIN and RADON DETAIL**

N.T.S.  
 PASSIVE RADON SYSTEM VENTED THROUGH SUMP

**TRUSS ROOF**

REScheck - IECC

REF REScheck COMPLIANCE REPORT FOR COMPLETE INFO REGARDING COMPLIANCE BY TOTAL BUILDING ENVELOPE PERFORMANCE

ATDC VENTILATION  
 REF ATDC VENT CALC'S ON COVER / ELEV'S FOR ADD'L INFO

30 YR MIN SHINGLE (OR BETTER) MIN CLASS "C" FIRE RATING W/ 15 LB FELT  
 7/16 - 24/16 SHEATHING (OR BETTER) W/ CLIPS  
 INSTALL AS PER MANUF'S INSTRUCTIONS

MFRS ROOF TRUSSES 24" OC W/ HURRICANE CLIPS  
 "SIMPSON" H2.5A OR MANUF'S EQUAL

2X6 ALUM WRAP FASCIA W/ ALUM 'K' GUTTER

VENTED SOFFIT  
 2-2X10 HEADER U.N.O.  
 MIN R-30 INSUL - INSTALL BAFFLES FOR MIN 2" AIR SPACE AS REQ'D

EXT WALL  
 EXTERIOR FINISH PER ELEV  
 7/16" OSB EXT SHEATHING  
 MIN R-13 KRAFT FACED BATT INSUL  
 2x4 or 2x6 #2 OR BETTER WALL STUDS AT 16" O.C. 1/2" CWB  
 REF PLANS FOR SIZE AND LOCATION

3/4" T&G SUBFLOOR (48/24 SHEATHING) ON FLOOR JOIST AT 16" O.C. (U.N.O.)  
 SEE FDN/FRAMING PLAN FOR SIZING  
 MIN R-13 KRAFT FACED BATT INSUL AT BAND

2-2X10 HEADER U.N.O.

WINDOWS REF ELEVATIONS  
 U-FACTOR AS PER REScheck

3/4" T&G SUBFLOOR (48/24 SHEATHING) ON FLOOR JOIST AT 16" O.C. (U.N.O.)  
 SEE FDN/FRAMING PLAN FOR SIZING

MIN R-13 KRAFT FACED BATT INSUL AT BAND  
 2X6 PT SILL PLATE W/ SILL SEALER  
 GRADE MIN 8" BELOW FND

ANCHOR - REF SPEC'S  
 INSULATION AS REQUIRED AS PER REScheck

CONC FND WALL ON CONC FTG W/KEY  
 SEE FND PLAN FOR SIZING

DAMP PROOF BELOW GRADE (MIN) OR WATERPROOF WITH "TUFF-N-DRY" OR EQUAL

3-1/2" MIN CONC SLAB ON 6 MIL P.V. VAPOR BARRIER ON 4" CRUSHED STONE

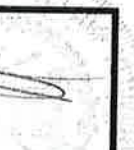
4" PERF CORRUGATED PIPE  
 4" CRUSHED STONE  
 REF DETAIL FOR ADD'L INFO

NOTE:  
 SLEEVE PASSING IN OR UNDER FOOTING TO BE CORROSION RESISTANT, STAINLESS STEEL OR IRON IRON 2 PIPE SIZES LARGER

**TYPICAL WALL SECTION**

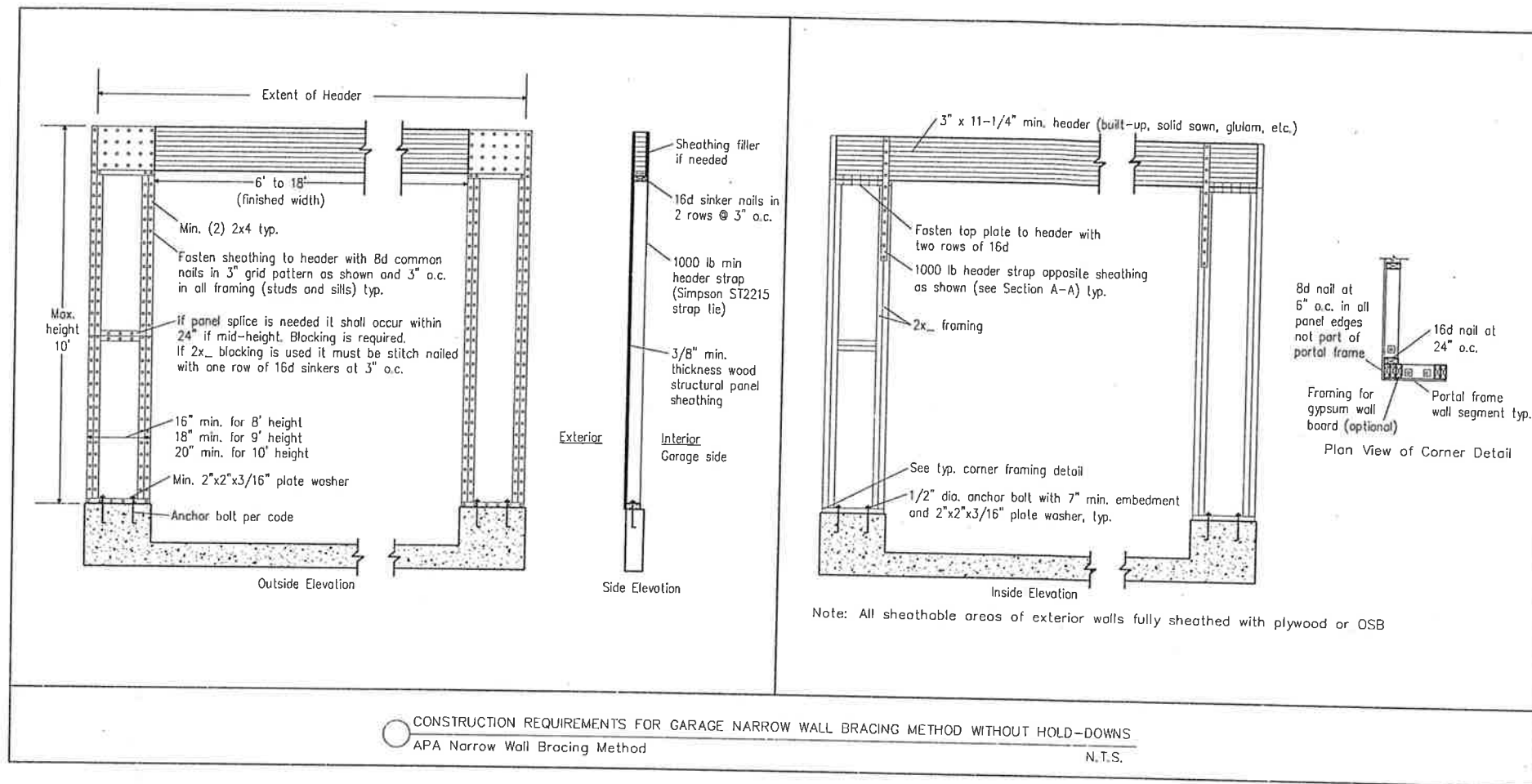
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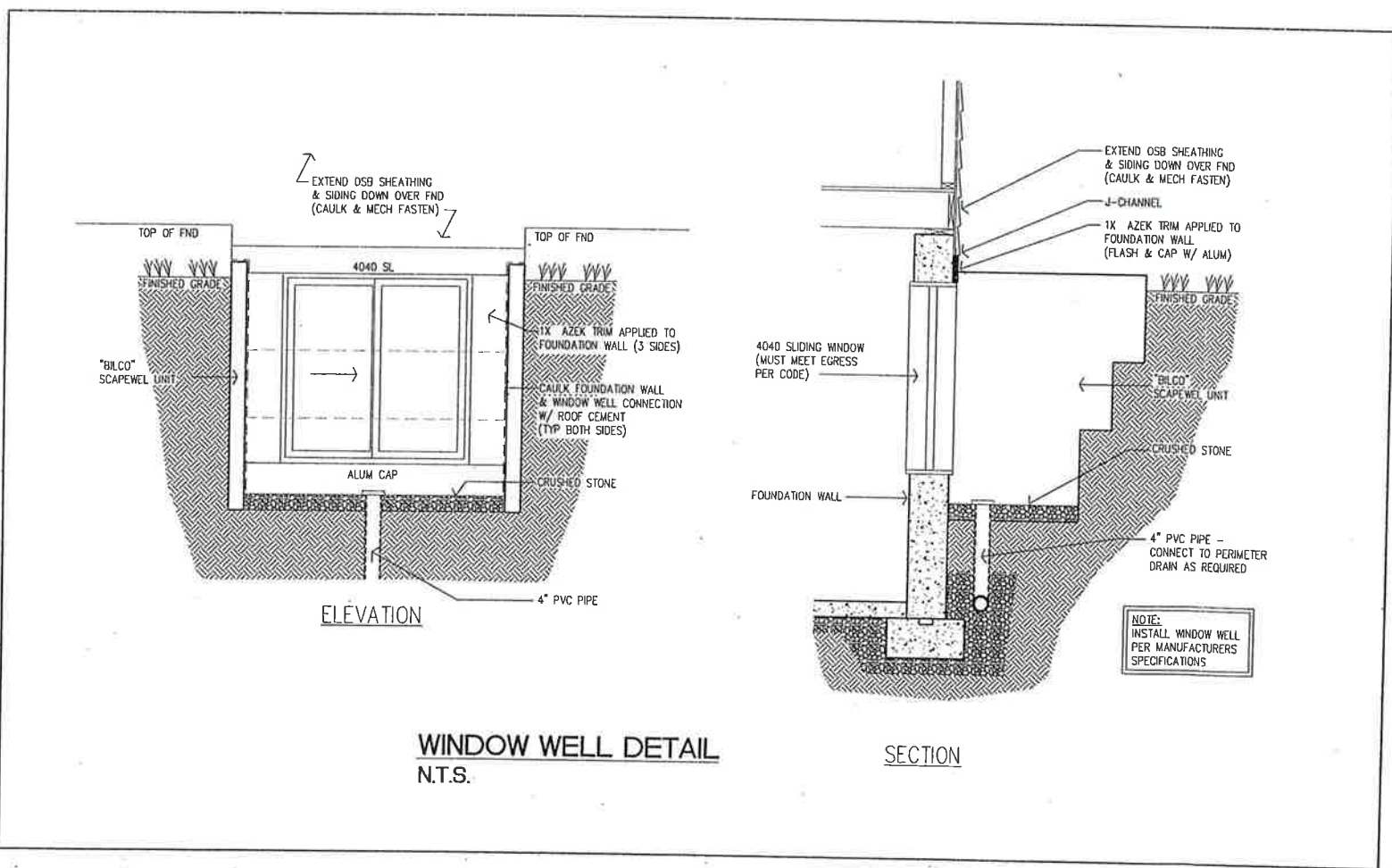


**WINDOW SILLS**  
 THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE 24 INCHES ABOVE THE FINISH FLOOR WHEN LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW.

**BSMT EGRESS NOTE**  
 BASEMENT  
 INSTALL "BILCO SCAPEWELL" WINDOW WELL SYSTEM FOR EMERGENCY EGRESS OR APPROVED EQUAL AS PER MANUFACTURE

EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING.

WHERE BSMT'S CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQ'D IN EACH SLEEPING ROOM, BUT SHALL NOT BE REQ'D IN ADJOINING AREAS OF THE BASEMENT.



IRC - TABLE R404.1(2)  
 REFERENCE SECTION R404  
 MAXIMUM PLATE ANCHOR-BOLT SPACING FOR SUPPORTED FOUNDATION WALL<sup>a</sup>

**ANCHOR BOLT SPACING**  
 WALL SPECIFICATION PER CODE BASED ON SOIL BEARING CAPACITY AS DETERMINED BY A SOILS ENGINEER

MAX WALL HEIGHT (feet)	MAX UNBALANCED BACKFILL HEIGHT (feet)	SOIL CLASSES		
		GW, GP SW and SP	GM, GC, SM-SC and ML	SC, MH, ML-CL and inorganic CL
7	4	72	58	43
	5	44	30	22
	6	26	17	13
	7	16	11	8
8	4	72	66	50
	5	51	34	25
	6	29	20	15
	7	18	12	9
9	8	12	8	6
	4	72	72	56
	5	57	38	29
	6	33	22	17
	7	21	14	10
	8	14	9	7
	9	10	7	5

b. Spacing is based on 1/2 inch diameter anchor bolts. For 5/8 inch diameter anchor bolts, spacing may be multiplied by 1.27, with a maximum spacing of 72 inches.

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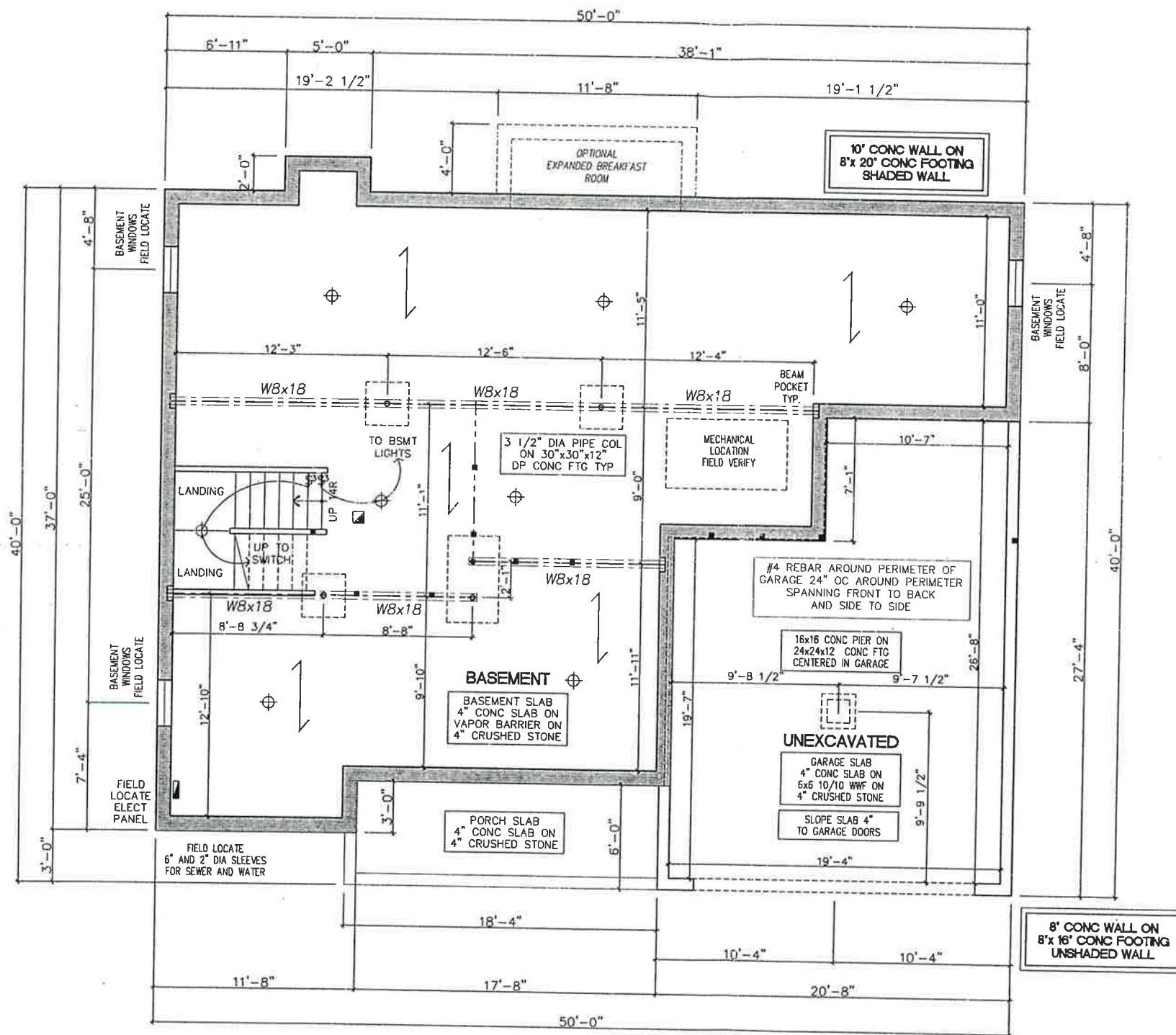
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**GENERAL SPECIFICATIONS**  
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**S-12**



11-7/8" ENGINEERED  
FLOOR JOISTS  
SPACING AND LAYOUT  
AS PER ENGINEERED PLAN

**Foundation Plan**  
scale: ref cover sheet

8' HIGH STANDARD CONCRETE WALLS

Voice: 215/442-1780  
 Fax: 215/442-1781  
 E-mail: theomniagroup.com  
 323 South York Rd  
 Hatboro, Pa 19040  
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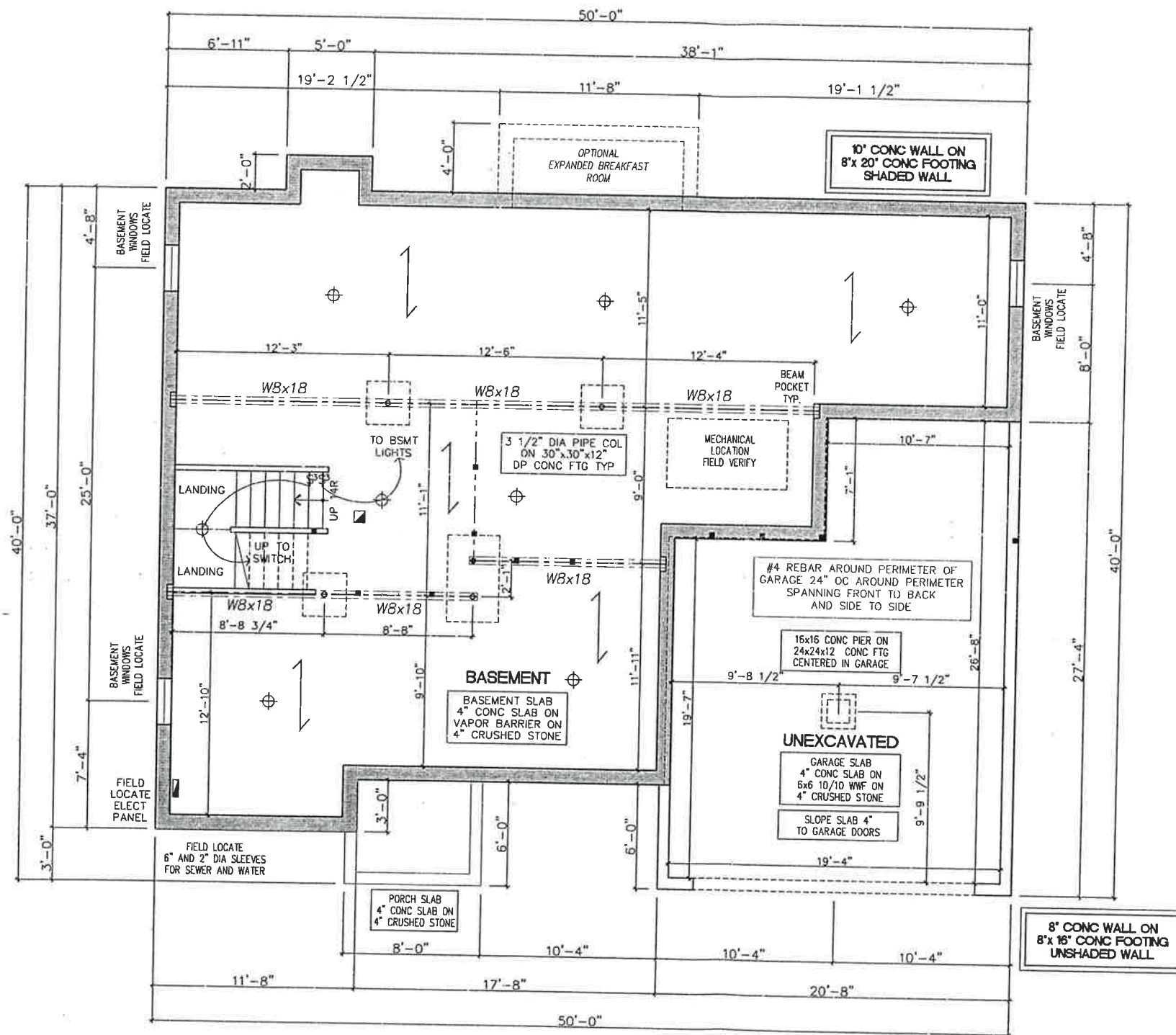
Model J  
**DEWEY HOMES**  
 Ravens Claw - Master

DRAWING DATE
9/2006
REVISION DATES

**A-1A**

**COLONIAL**





11-7/8" ENGINEERED FLOOR JOISTS SPACING AND LAYOUT AS PER ENGINEERED PLAN

**Foundation Plan** 8" HIGH STANDARD CONCRETE WALLS  
 scale: ref cover sheet

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 Fax: 215/442-1781  
 E-mail: theomniagroup.com  
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Model J  
**DEWEY HOMES**  
 Ravens Claw - Master

DRAWING DATE	9/2006
REVISION DATES	

A-1C

CHATEAU

STAIR NOTE:  
10" TREADS PLUS 1" NOSING  
AND MAX 7 3/4" RISERS

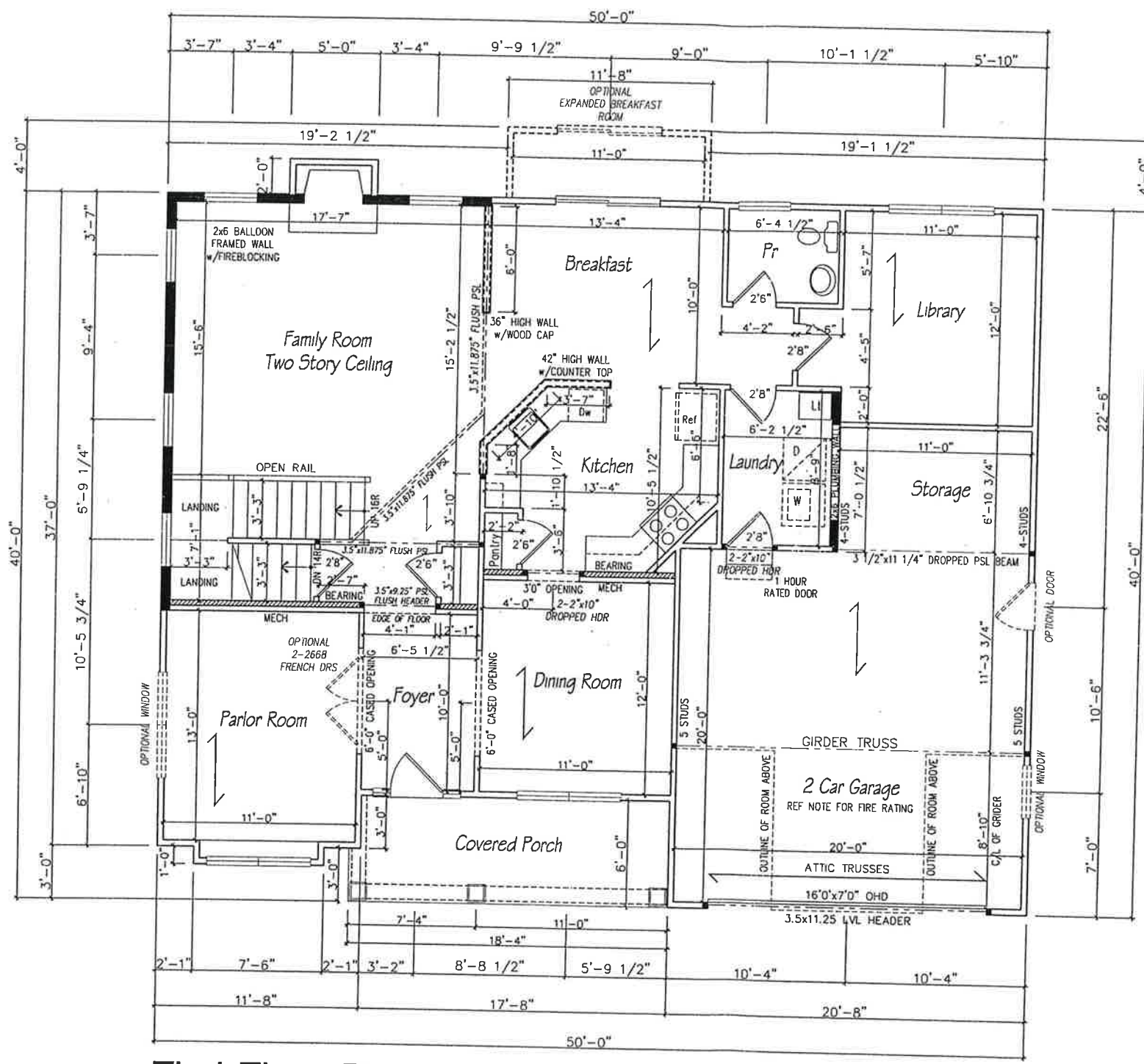
NOTE:  
REFERENCE ELEVATIONS  
FOR WINDOW SIZES

INTERIOR HEADERS:  
(2)2X10 WITH (2)2X4 JACK  
UNLESS NOTED OTHERWISE

EXTERIOR SINGLE  
WINDOW AND DOOR HEADERS:  
(2)2X10 WITH (2)2X4 JACK  
UNLESS NOTED OTHERWISE

EXTERIOR TWIN  
WINDOW AND DOOR HEADERS:  
3.5x9.25 PSL W/ 3 JACKS U.N.O. (6'-0" MAX)  
UNLESS NOTED OTHERWISE

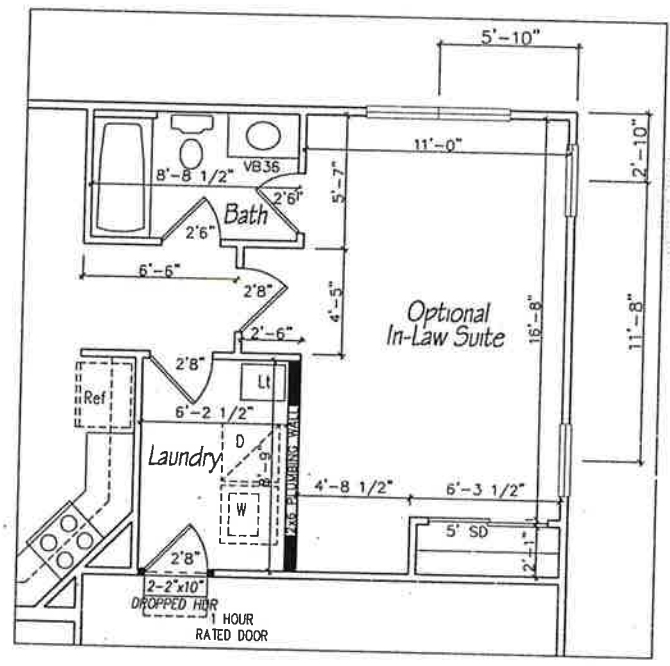
POINT LOAD (MIN 3 STUDS U.N.O.)  
PROVIDE SOLID BLOCKING  
DOWN TO FOUNDATION  
OR BEAM BELOW



**First Floor Plan**  
scale: ref cover sheet

9'-1" PLATE HEIGHT

11-7/8" ENGINEERED  
FLOOR JOISTS  
SPACING AND LAYOUT  
AS PER ENGINEERED PLAN



*Optional In-Law Suite*

**GARAGE FIRE RATING**  
PROVIDE 1 LAYER 5/8" TYPE X  
GYP BD EA SIDE FOR 1 HR  
FIRE PROTECTION BETWEEN  
HOUSE AND GARAGE  
PROVIDE 2 LAYERS 5/8" TYPE X  
GYP BD FOR 1 HR FIRE  
PROTECTION ON CEILING

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REVISION DATES

**A-2A**

**COLONIAL**



STAIR NOTE:  
10" TREADS PLUS 1" NOSING  
AND MAX 7 3/4" RISERS

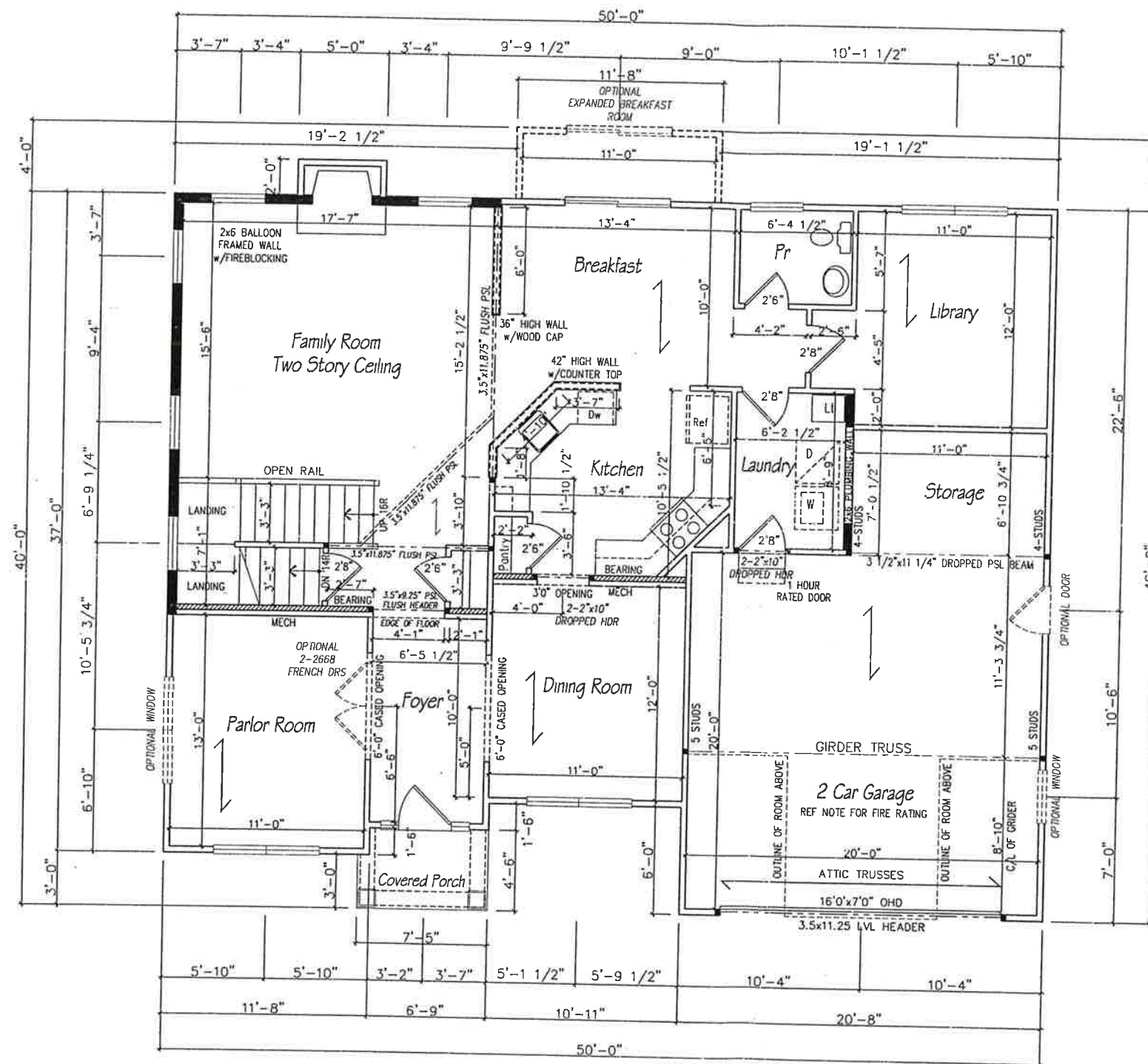
NOTE:  
REFERENCE ELEVATIONS  
FOR WINDOW SIZES

INTERIOR HEADERS:  
(2)2X10 WITH (2)2X4 JACK  
UNLESS NOTED OTHERWISE

EXTERIOR SINGLE  
WINDOW AND DOOR HEADERS:  
(2)2X10 WITH (2)2X4 JACK  
UNLESS NOTED OTHERWISE

EXTERIOR TWIN  
WINDOW AND DOOR HEADERS:  
3.5x9.25 PSL W/ 3 JACKS U.N.O. (6'-0" MAX)  
UNLESS NOTED OTHERWISE

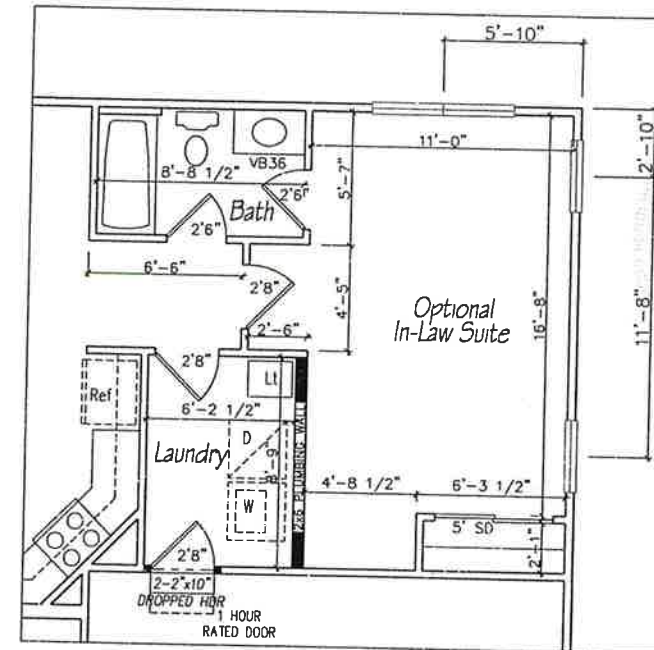
POINT LOAD (MIN 3 STUDS U.N.O.)  
PROVIDE SOLID BLOCKING  
DOWN TO FOUNDATION  
OR BEAM BELOW



**First Floor Plan**  
scale: ref cover sheet

9'-1" PLATE HEIGHT

11-7/8" ENGINEERED  
FLOOR JOISTS  
SPACING AND LAYOUT  
AS PER ENGINEERED PLAN



**Optional In-Law Suite**

**GARAGE FIRE RATING**  
PROVIDE 1 LAYER 5/8" TYPE X  
GYP BD EA SIDE FOR 1 HR  
FIRE PROTECTION BETWEEN  
HOUSE AND GARAGE  
PROVIDE 2 LAYERS 5/8" TYPE X  
GYP BD FOR 1 HR FIRE  
PROTECTION ON CEILING

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Model J  
**DEWEY HOMES**  
Ravens Claw - Master

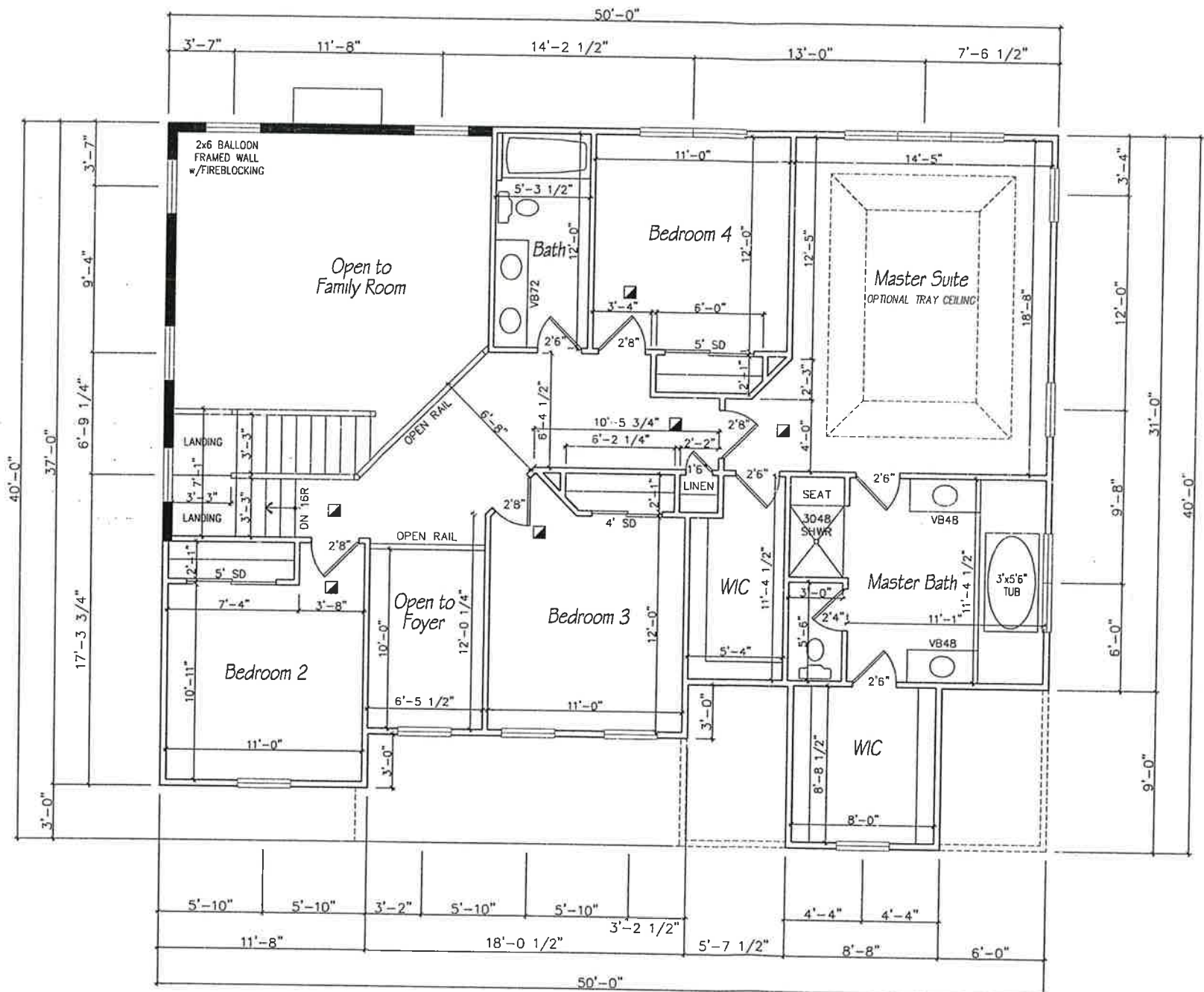
DRAWING DATE	9/2006
REVISION DATES	

**A-2B**

**MANOR**



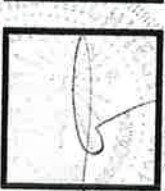
<p>STAIR NOTE: 10" TREADS PLUS 1" NOSING AND MAX 7 3/4" RISERS</p>	<p>NOTE: REFERENCE ELEVATIONS FOR WINDOW SIZES</p>	<p>INTERIOR HEADERS: (2)2X10 WITH (2)2X4 JACK UNLESS NOTED OTHERWISE</p>	<p>EXTERIOR SINGLE WINDOW AND DOOR HEADERS: (2)2X10 WITH (2)2X4 JACK UNLESS NOTED OTHERWISE</p>	<p>EXTERIOR TWIN WINDOW AND DOOR HEADERS: 3.5x9.25 PSL W/ 3 JACKS U.N.O. (6'-0" MAX) UNLESS NOTED OTHERWISE</p>	<p>POINT LOAD (MIN 3 STUDS U.N.O.) PROVIDE SOLID BLOCKING DOWN TO FOUNDATION OR BEAM BELOW</p>
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**Second Floor Plan**  
scale: ref cover sheet

8'-1" PLATE HEIGHT

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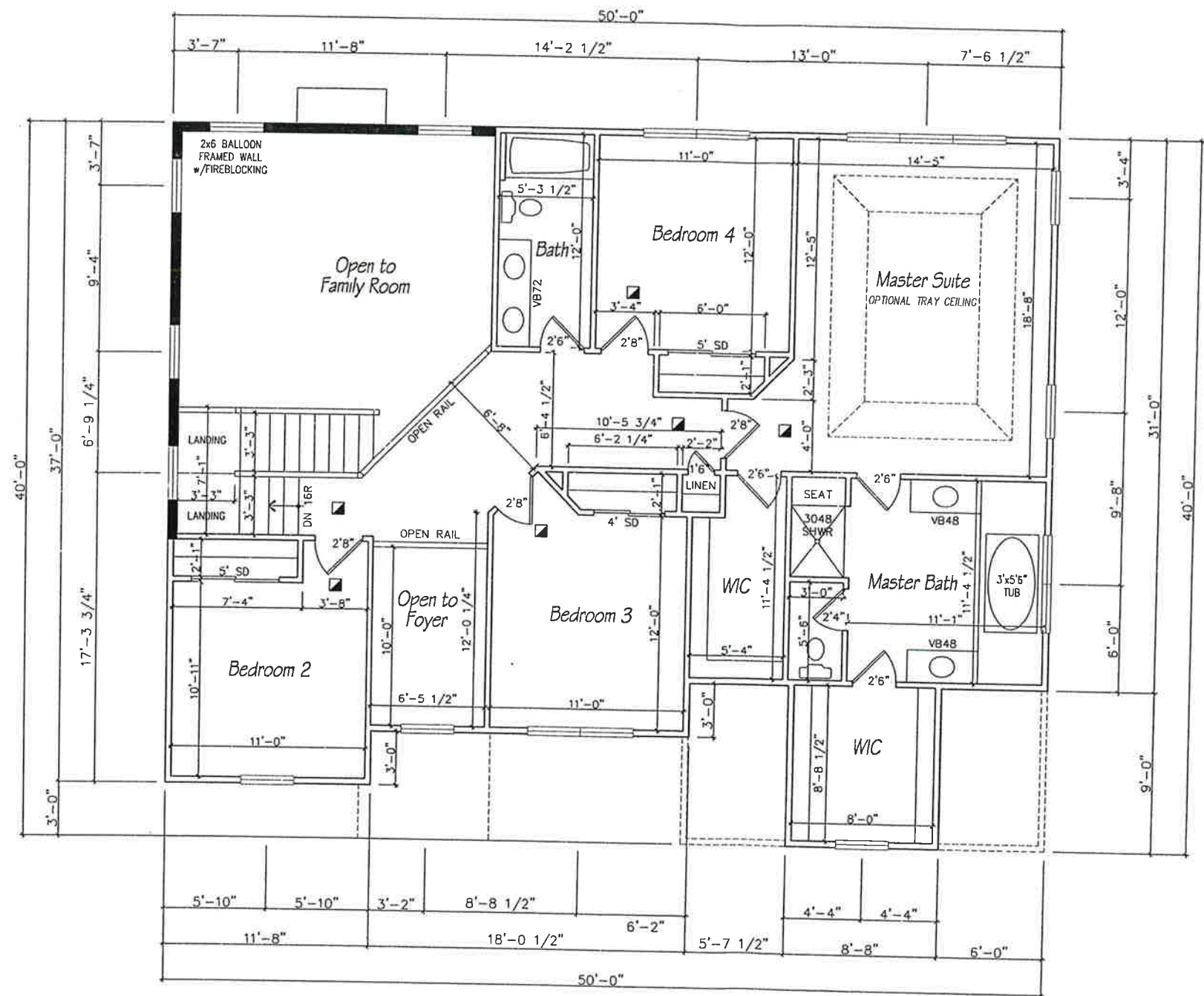
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**DEWEY HOMES**  
Ravens Claw - Master

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REVISION DATES	

**COLONIAL**

**A-3A**

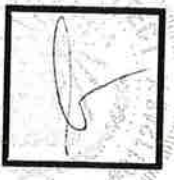
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**Second Floor Plan**  
scale: ref cover sheet

8'-1" PLATE HEIGHT

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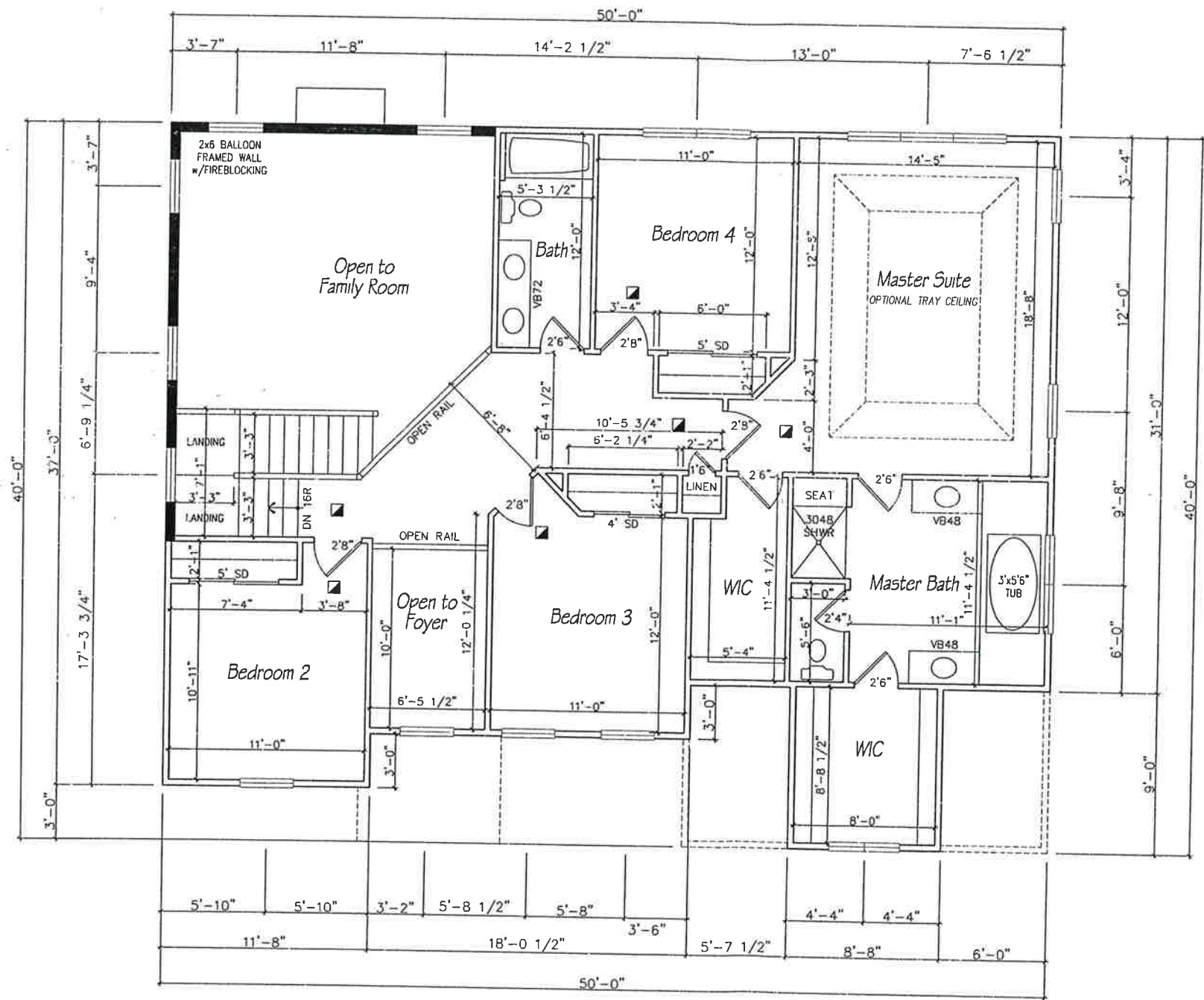
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Ravens Claw — Master

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REVISION DATES	

**MANOR**

**A-3B**

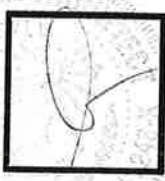
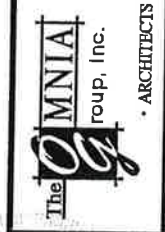
<p>STAIR NOTE: 10" TREADS PLUS 1" NOSING AND MAX 7 3/4" RISERS</p>	<p>NOTE: REFERENCE ELEVATIONS FOR WINDOW SIZES</p>	<p>INTERIOR HEADERS: (2)2X10 WITH (2)2X4 JACK UNLESS NOTED OTHERWISE</p>	<p>EXTERIOR SINGLE WINDOW AND DOOR HEADERS: (2)2X10 WITH (2)2X4 JACK UNLESS NOTED OTHERWISE</p>	<p>EXTERIOR TWIN WINDOW AND DOOR HEADERS: 3.5x9.25 PSL W/ 3 JACKS U.N.O. (6'-0" MAX) UNLESS NOTED OTHERWISE</p>	<p>POINT LOAD (MIN 3 STUDS U.N.O.) PROVIDE SOLID BLOCKING DOWN TO FOUNDATION OR BEAM BELOW</p>
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**Second Floor Plan**  
scale: ref cover sheet

8'-1" PLATE HEIGHT

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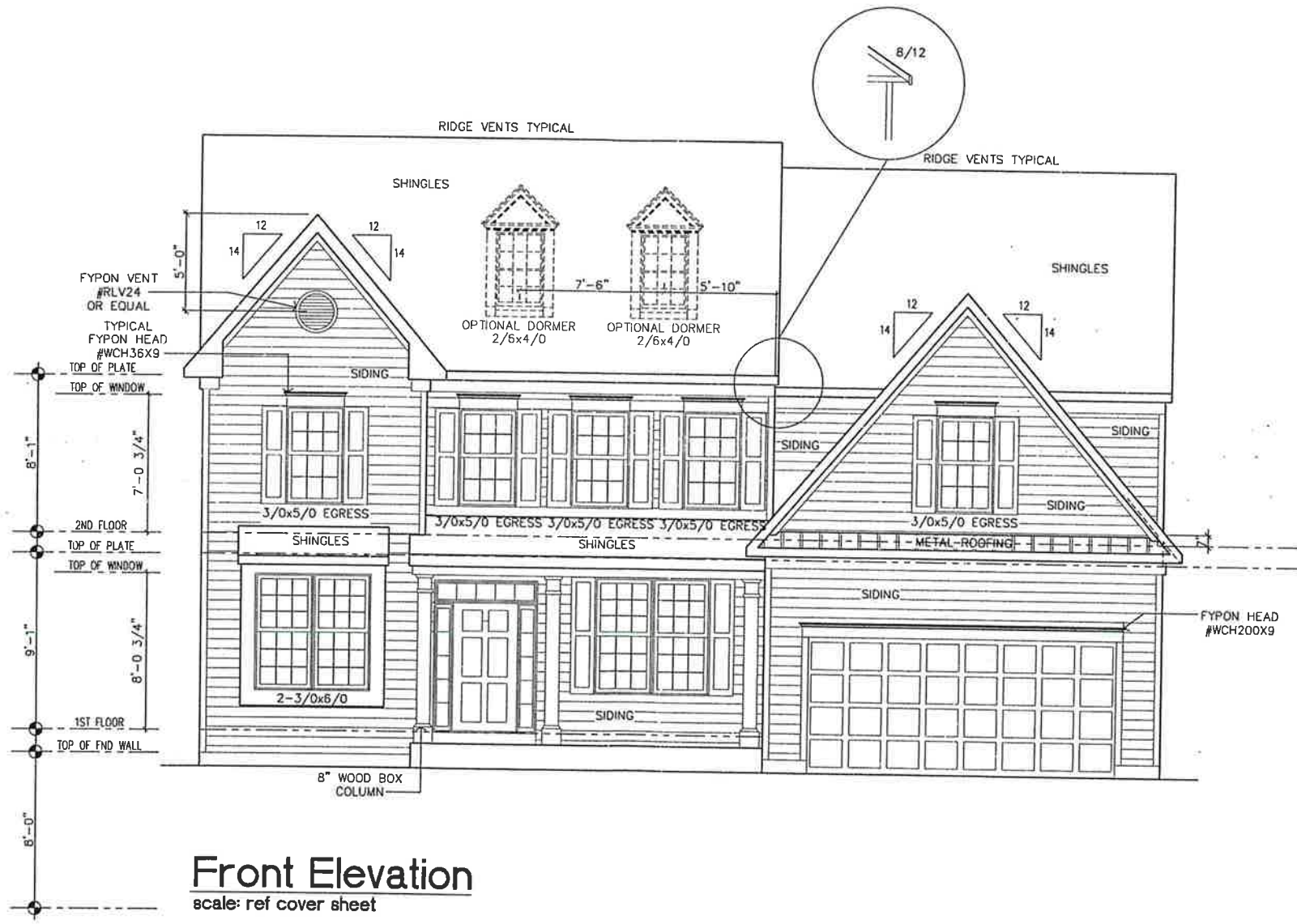


Model J  
**DEWEY HOMES**  
Ravens Claw - Master

DRAWING DATE	9/2006
REVISION DATES	

**CHATEAU**

**A-3C**



**Front Elevation**  
scale: ref cover sheet

- SILVERLINE WND MANU
- TYPICAL ELEVATION NOTES**
- 12" OVERHANGS FRONT & REAR  
FLY GABLE(S) AT FRONT 12"
  - 2X8 ALUM WRAP  
FASCIA AND FREEZE
  - 2X6 ALUM WRAPPED RAKES
  - 15" PANEL SHUTTERS  
PER ELEVATION
  - PERFORATED VINYL  
SOFFITS
  - ENTRY DOOR:  
3068 6 PANEL W/(2) 1068  
5 LITE SIDELITES  
12" TRANSOM ABOVE

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 Fax: 215/442-7781  
 E-mail: [theomniagroup.com](mailto:theomniagroup.com)  
 323 South York Rd  
 Hatboro, Pa 19040  
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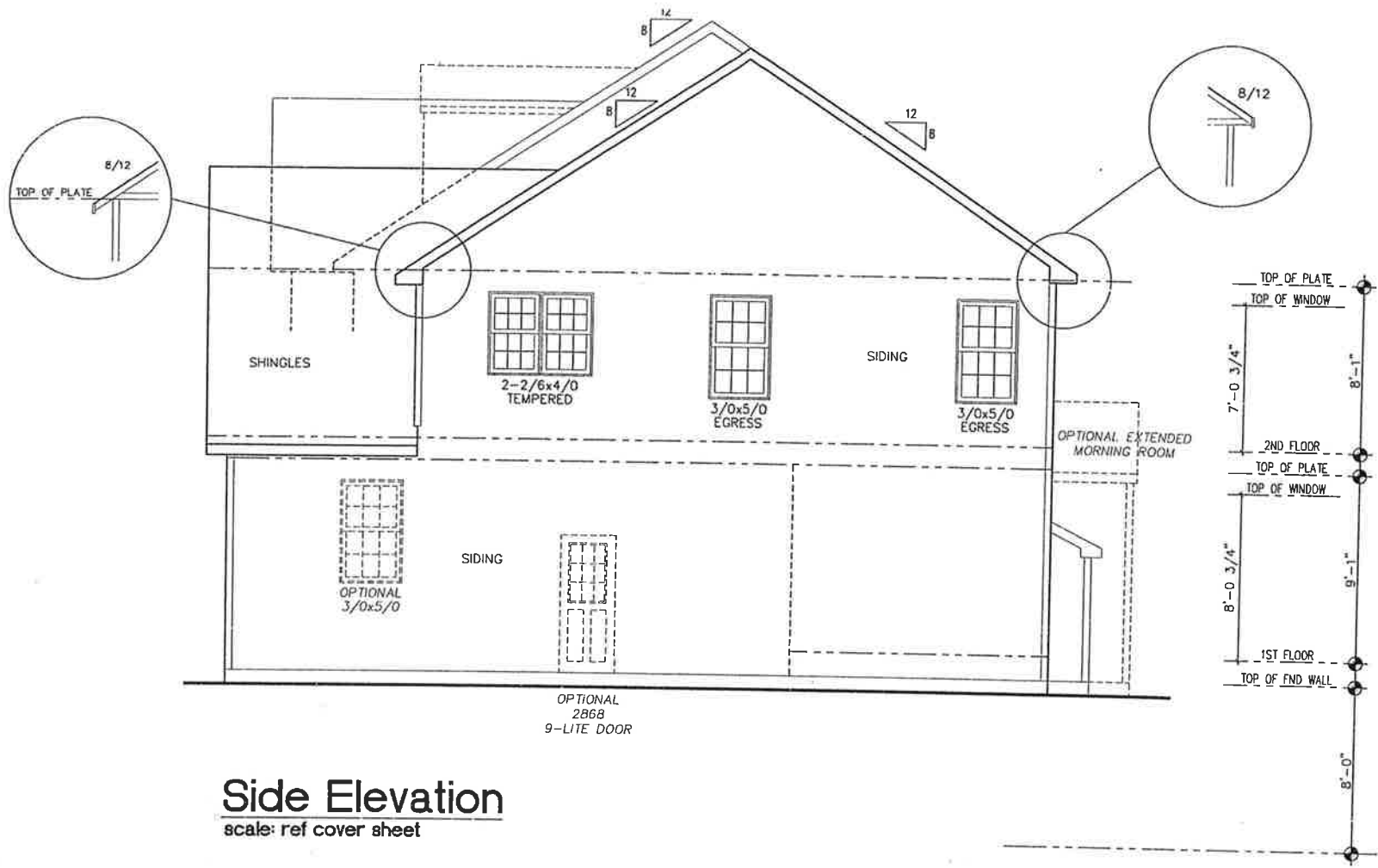


Model J  
**DEWEY HOMES**  
 Ravens Claw - Master

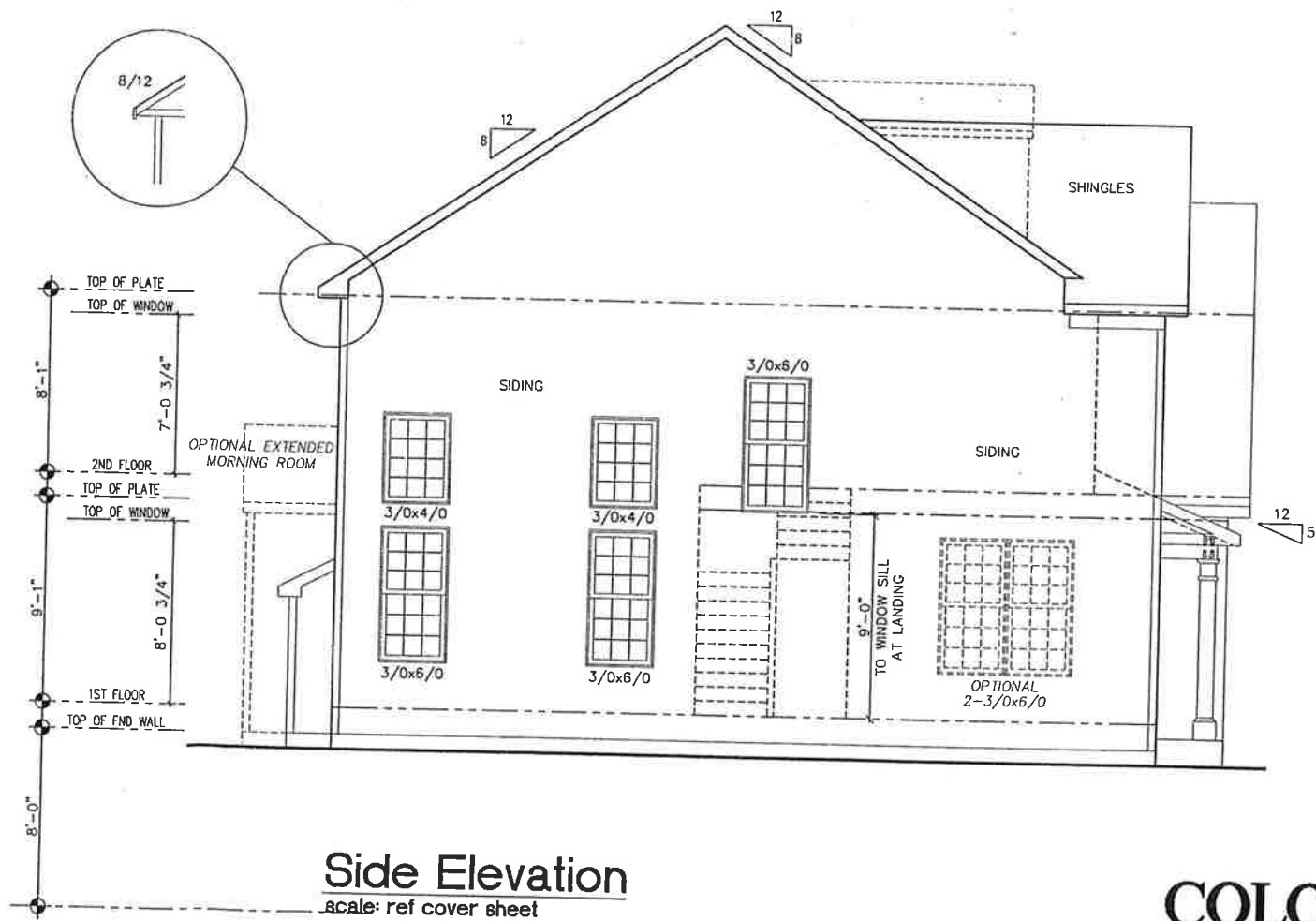
DRAWING DATE
9/2006
REVISION DATES

**COLONIAL**

**A-4A**



**Side Elevation**  
scale: ref cover sheet



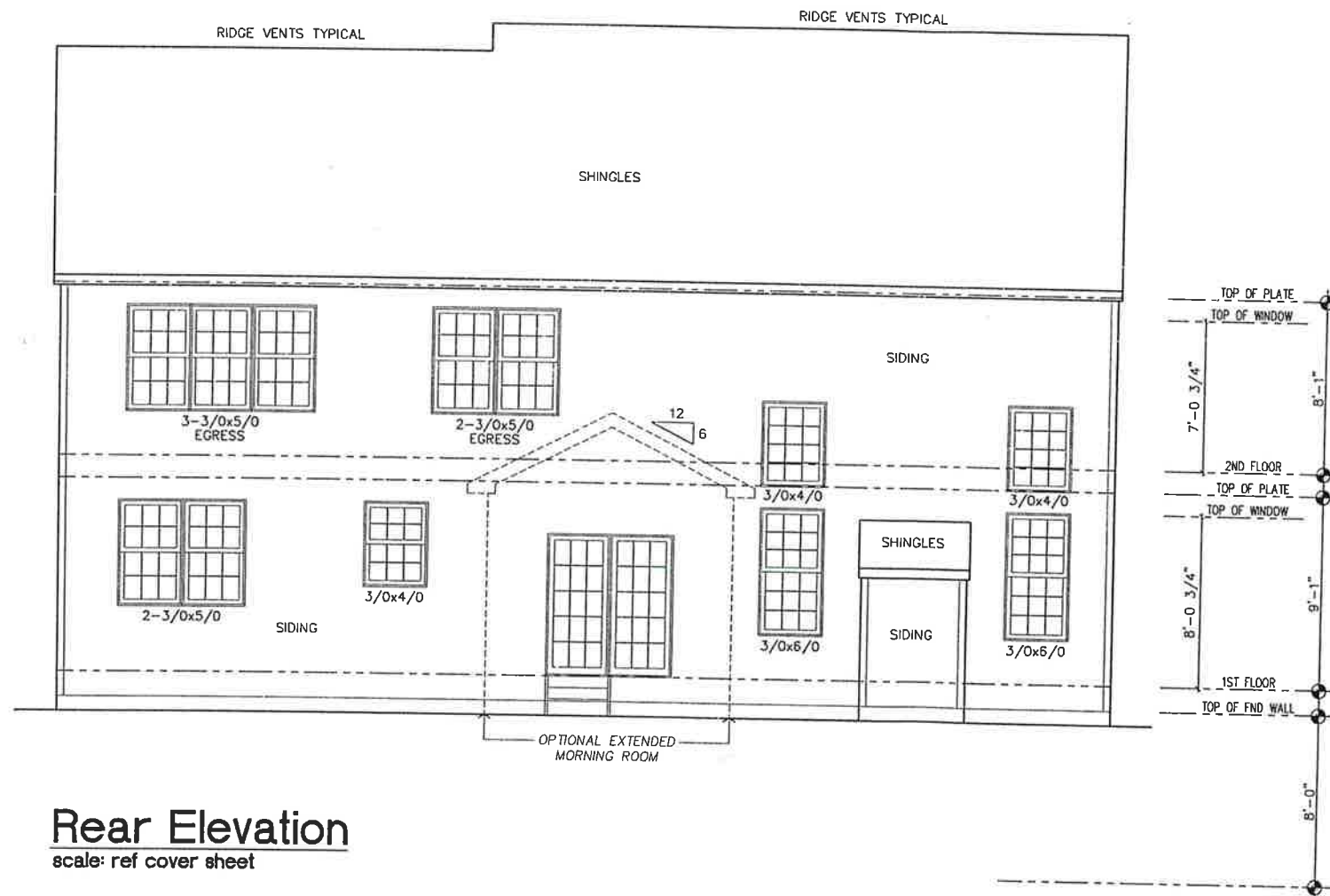
**Side Elevation**  
scale: ref cover sheet

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 Fax: 215/442-1781  
 E-mail: theomniacgroup.com  
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 Hatboro, Pa 19040



Model J  
**DEWEY HOMES**  
 Ravens Claw - Master

DRAWING DATE
9/2006
REVISION DATES



**Rear Elevation**  
scale: ref cover sheet

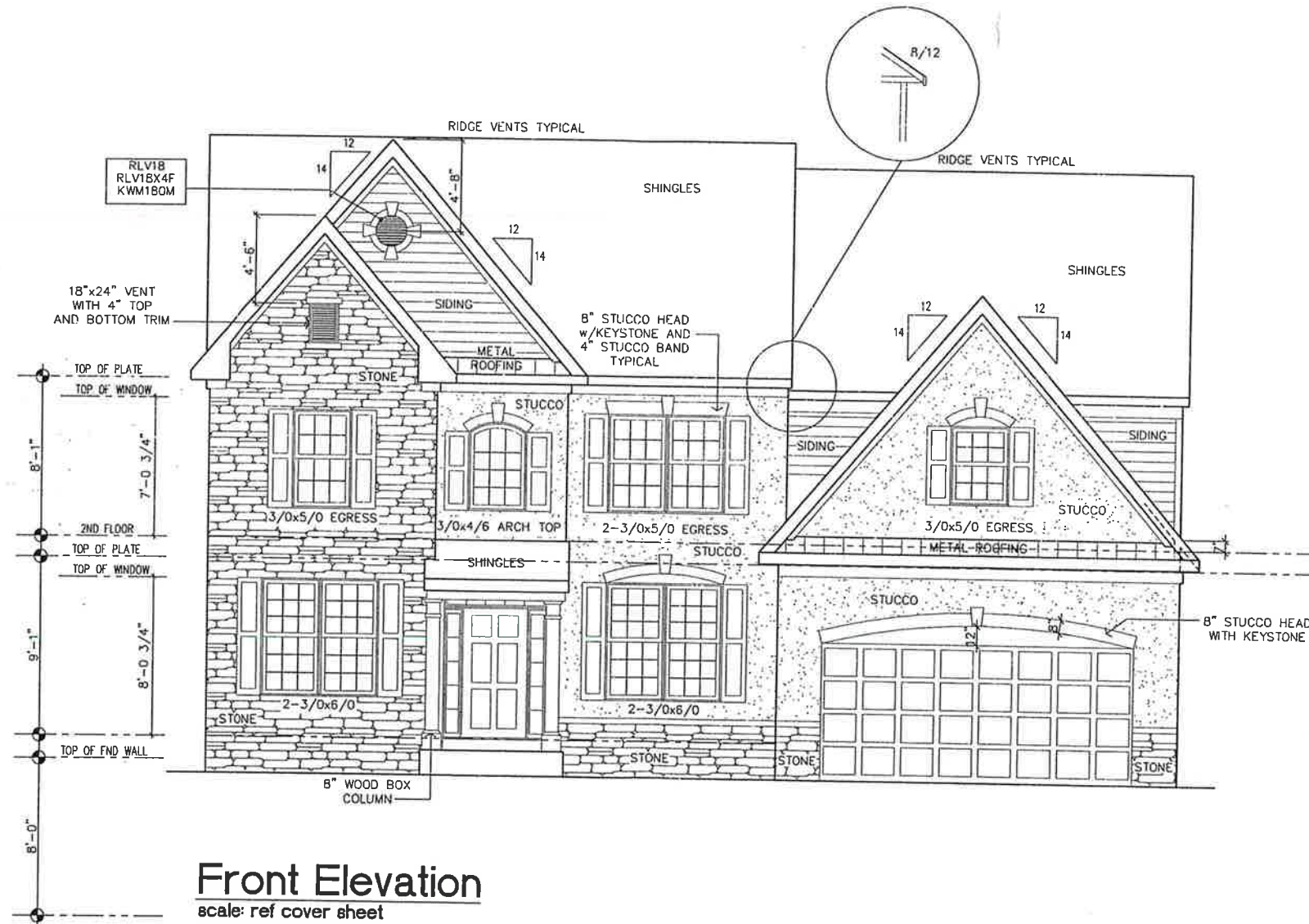
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 Fax: 215/442-1781  
 E-mail: [thecomplgroup.com](mailto:thecomplgroup.com)  
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Model J  
**DEWEY HOMES**  
 Ravens Claw - Master

DRAWING DATE
9/2006
REVISION DATES





SILVERLINE WND MANU

TYPICAL ELEVATION NOTES

12" OVERHANGS FRONT & REAR  
FLY GABLE(S) AT FRONT 12"

2XB ALUM WRAP  
FASCIA AND FREEZE

2X6 ALUM WRAPPED RAKES

15" PANEL SHUTTERS  
PER ELEVATION

PERFORATED VINYL  
SOFFITS

ENTRY DOOR:  
3068 6 PANEL W/(2) 1068  
5 LITE SIDELITES  
12" TRANSOM ABOVE

Voice: 215/442-780  
Fax: 215/442-781  
E-mail: theomniagroup.com  
323 South York Rd  
Haitboro, Pa 19040

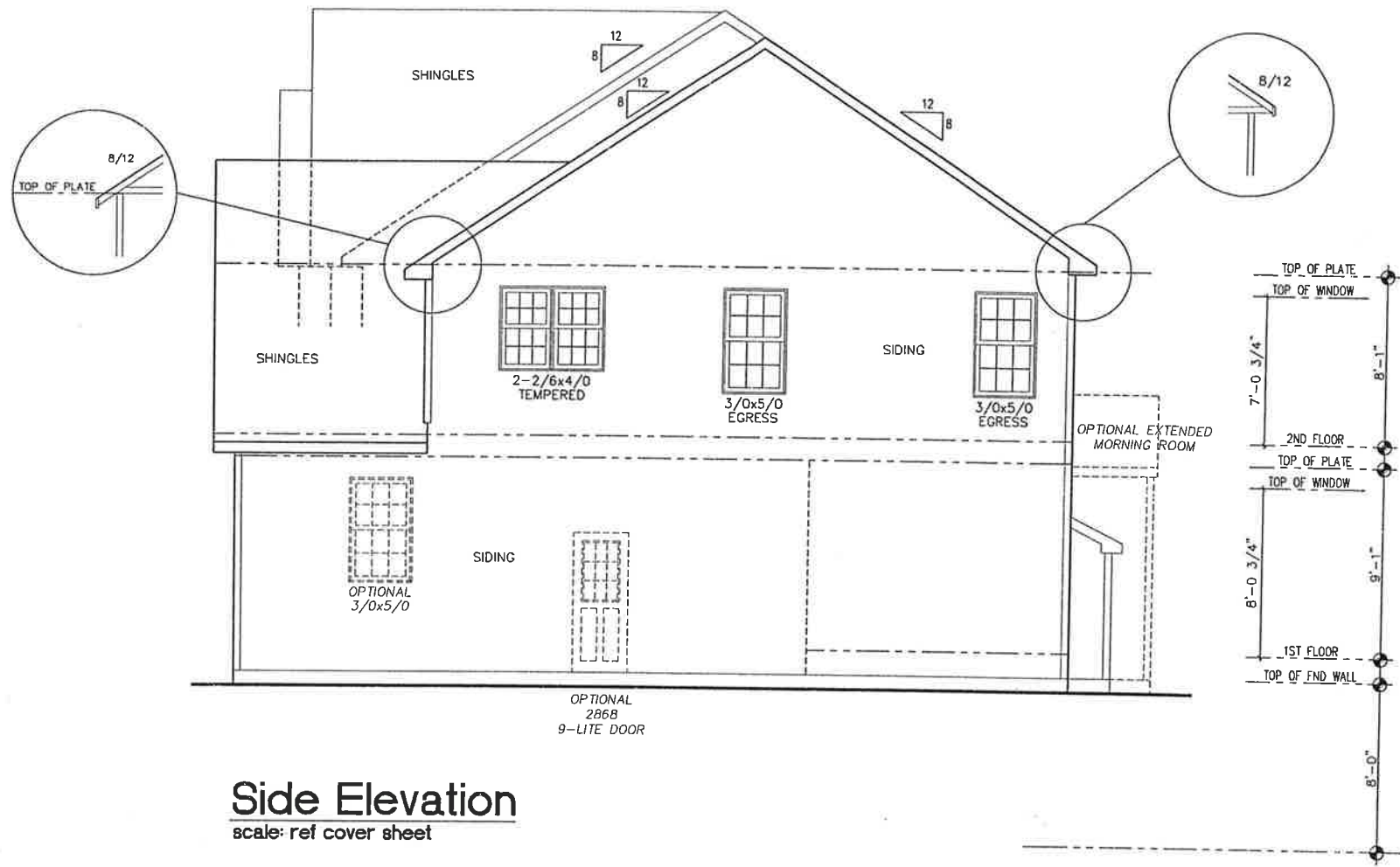


Model J  
**DEWEY HOMES**  
Ravens Claw - Master

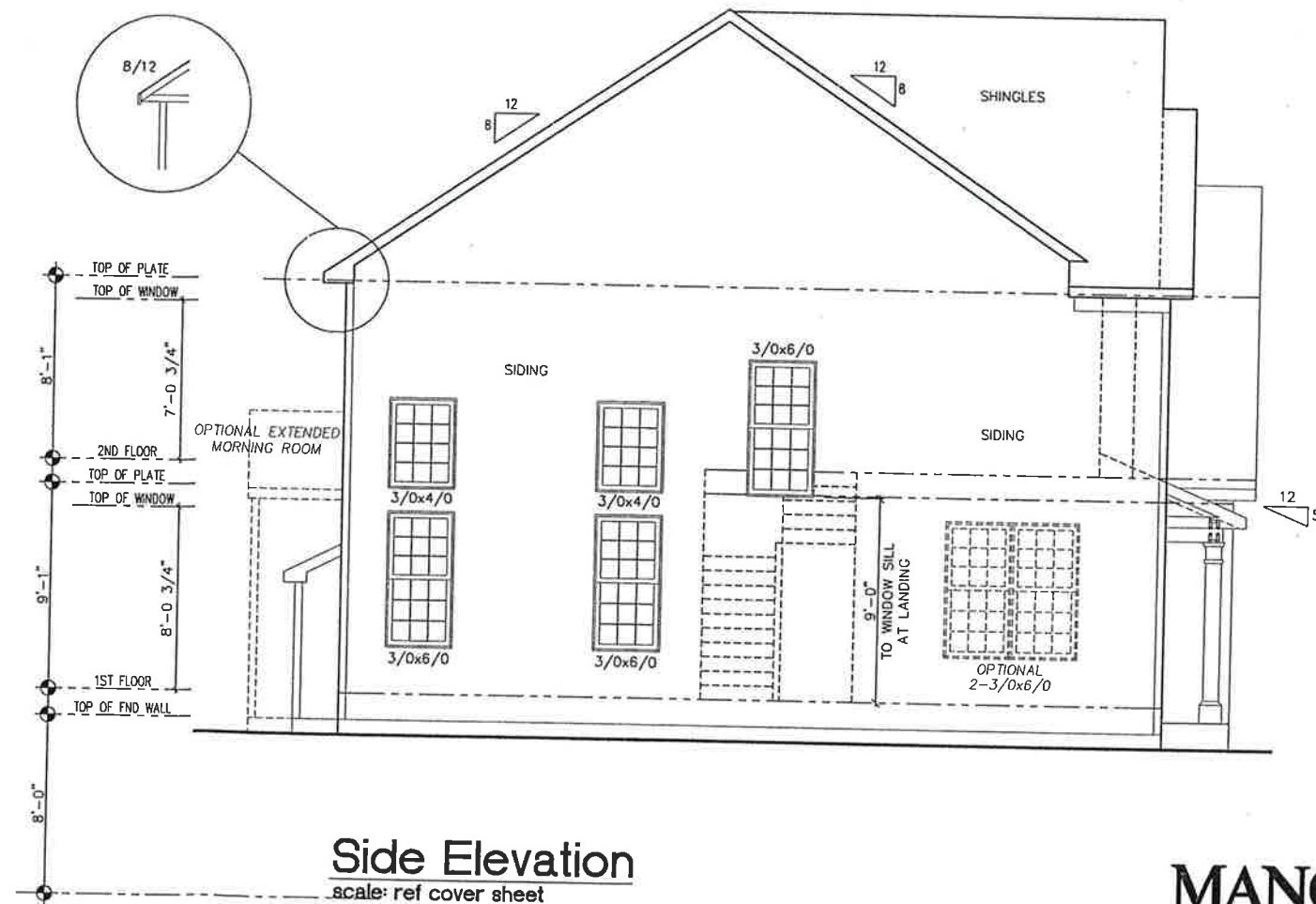
DRAWING DATE
9/2006
REVISION DATES

**MANOR**

**A-4B**



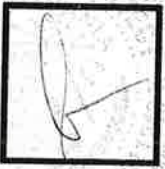
**Side Elevation**  
scale: ref cover sheet



**Side Elevation**  
scale: ref cover sheet

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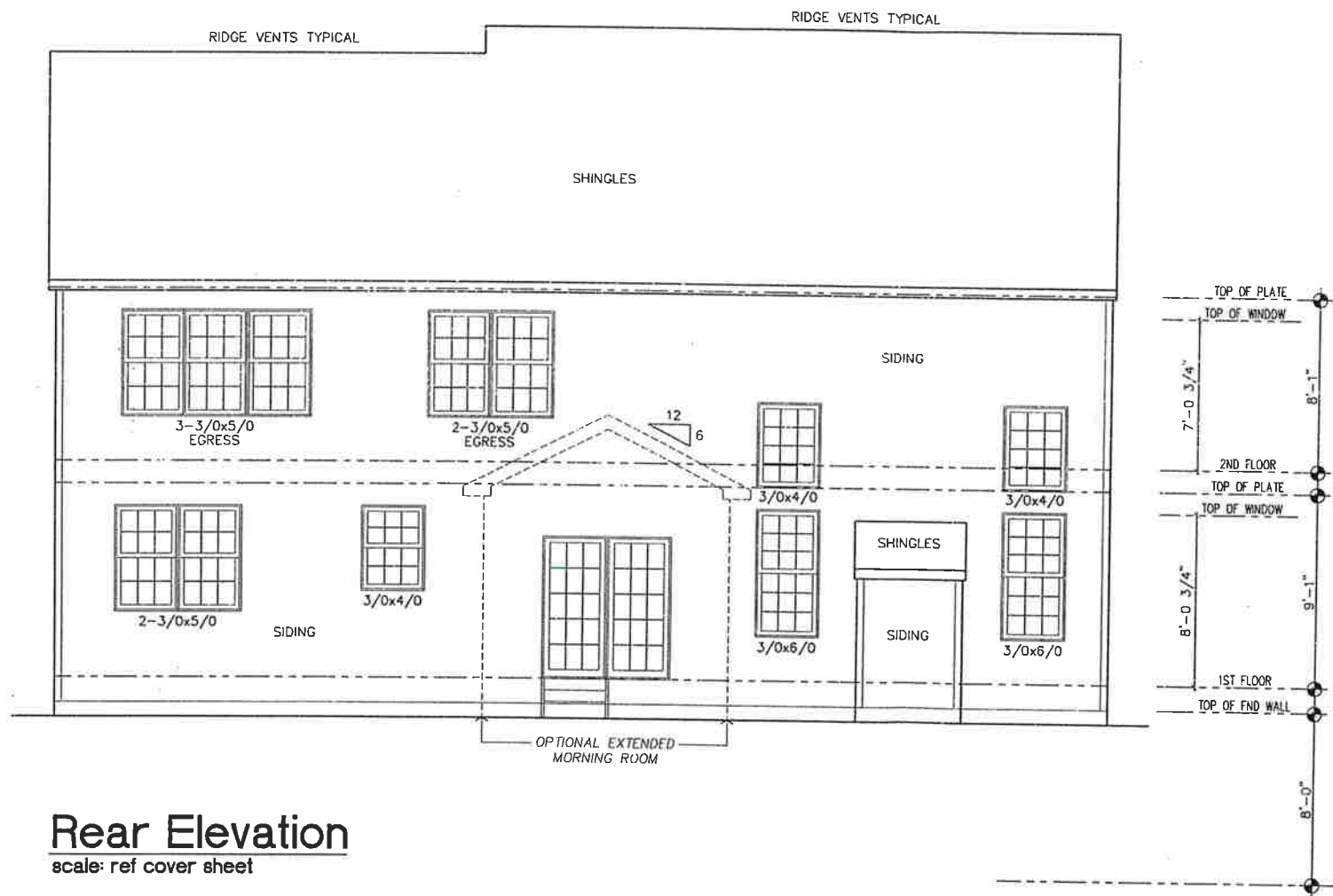


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**DEWEY HOMES**  
 Ravens Claw - Master

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9/2006
REVISION DATES

**MANOR**

**A-4B.1**



**Rear Elevation**  
 scale: ref cover sheet

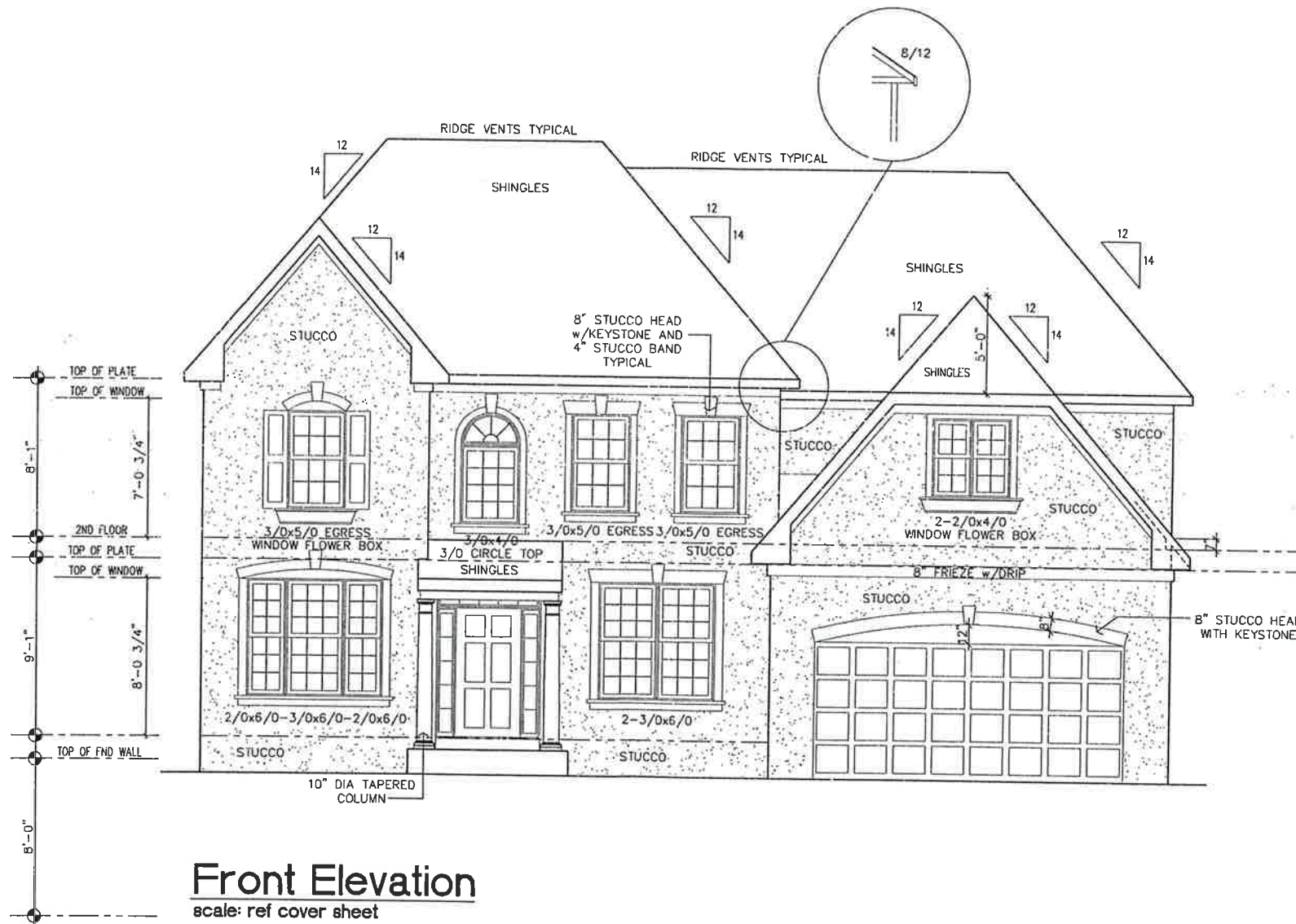
Voice: 215/442-1780  
 Fax: 215/442-1781  
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DRAWING DATE
9/2006
REVISION DATES

A-4B.2



**Front Elevation**  
scale: ref cover sheet

*Chateau*

- SILVERLINE WND MANU
- TYPICAL ELEVATION NOTES
- 12" OVERHANGS FRONT & REAR FLY GABLE(S) AT FRONT 12"
  - 2X8 ALUM WRAP FASCIA AND FREEZE
  - 2X6 ALUM WRAPPED RAKES
  - 15" PANEL SHUTTERS PER ELEVATION
  - PERFORATED VINYL SOFFITS
  - ENTRY DOOR:  
3068 6 PANEL W/(2) 1068  
5 LITE SIDELITES  
12" TRANSOM ABOVE

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Fax: 215/442-1781  
E-mail: [thecomnigroup.com](mailto:thecomnigroup.com)  
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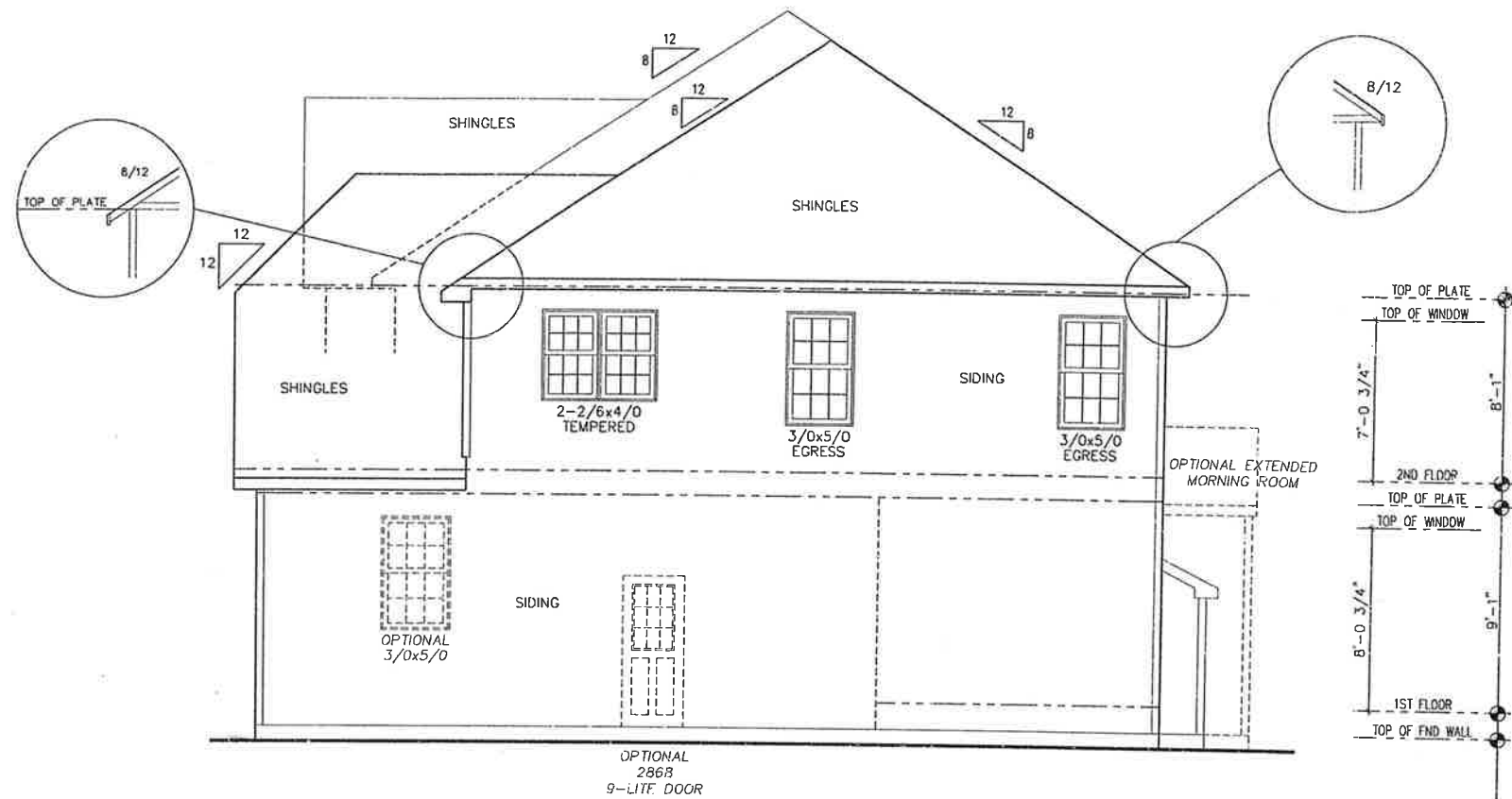


Model J  
**DEWEY HOMES**  
Ravens Claw - Master

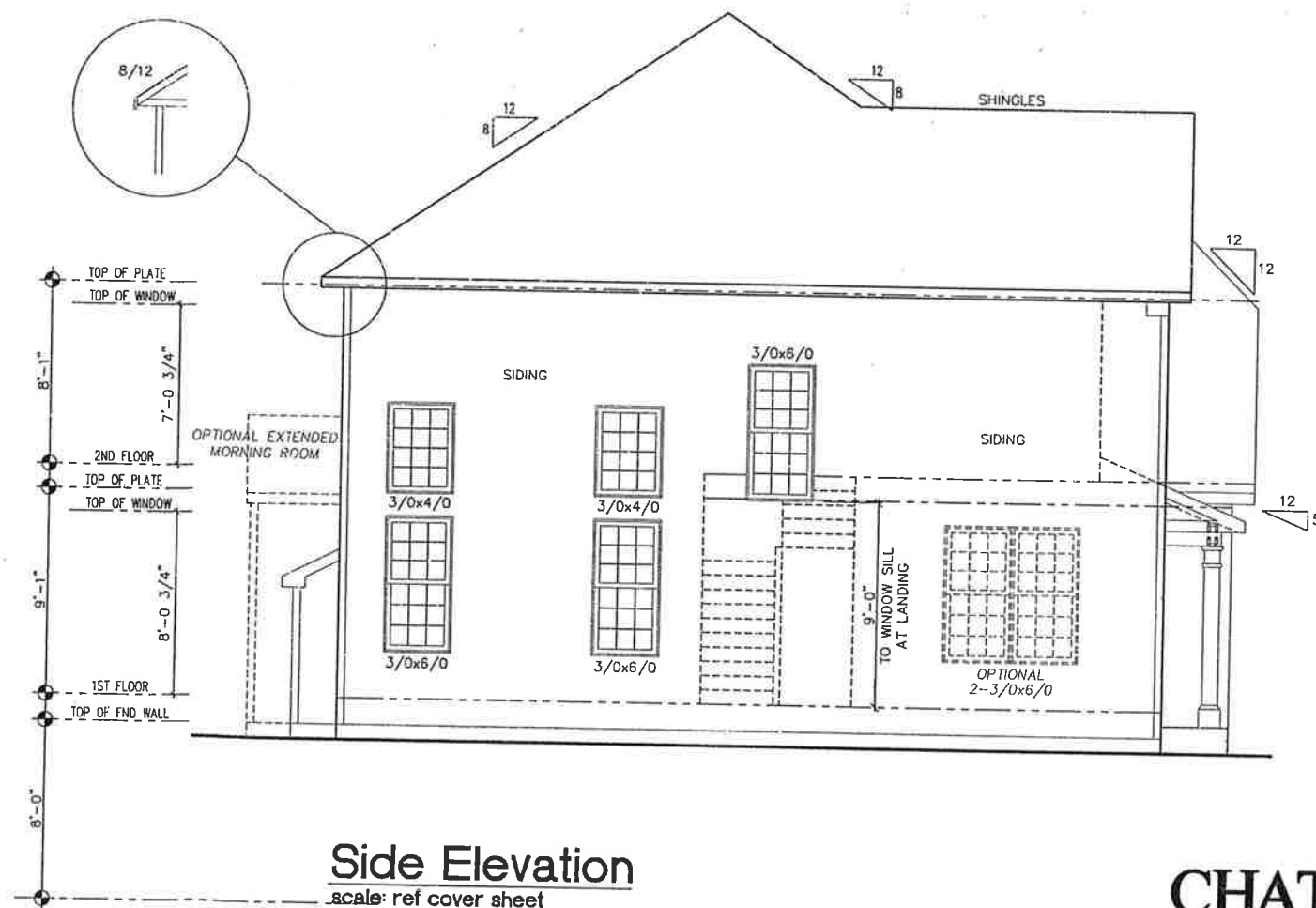
DRAWING DATE
9/2006
REVISION DATES

**CHATEAU**

**A-4C**



**Side Elevation**  
scale: ref cover sheet



**Side Elevation**  
scale: ref cover sheet

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 Fax: 215/442-1781  
 E-mail: [thedeweygroup.com](mailto:thedeweygroup.com)  
 323 South York Rd  
 Hatboro, Pa 19040

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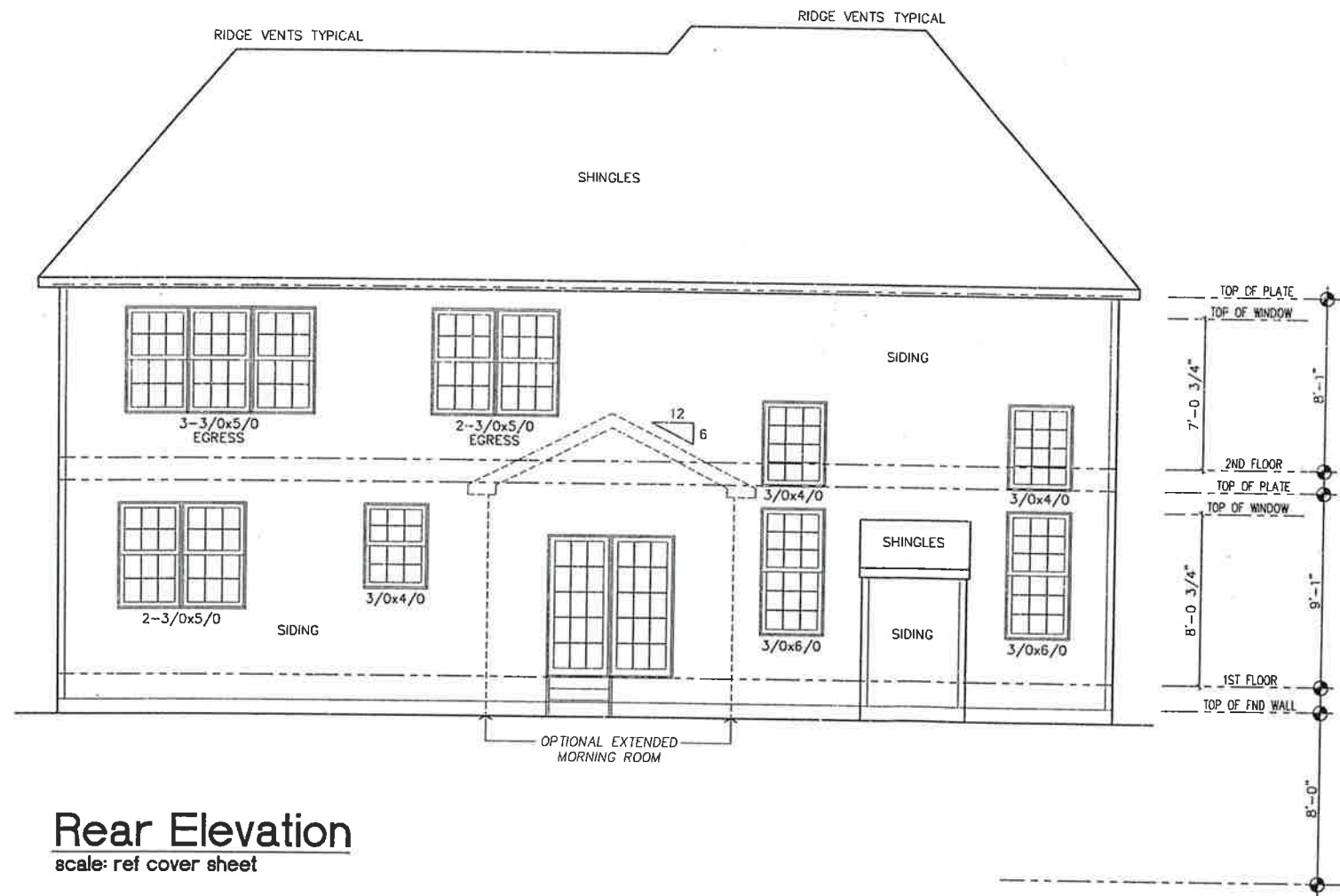


Model J  
**DEWEY HOMES**  
 Ravens Claw — Master

DATE	REVISION
9/2006	DRAWING DATE
	REVISION DATES

**CHATEAU**

**A-4C.1**



**Rear Elevation**  
 scale: ref cover sheet

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 Fax: 215/442-7781  
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 Harboro, Pa 19040  
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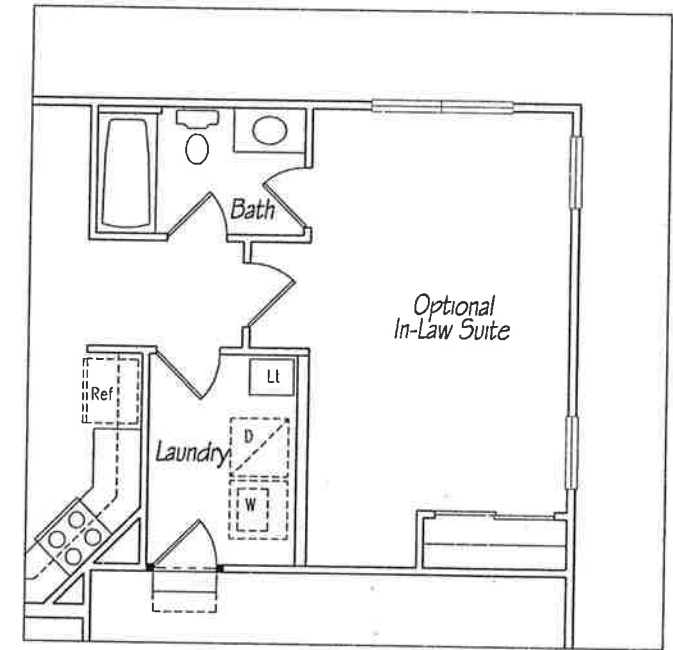
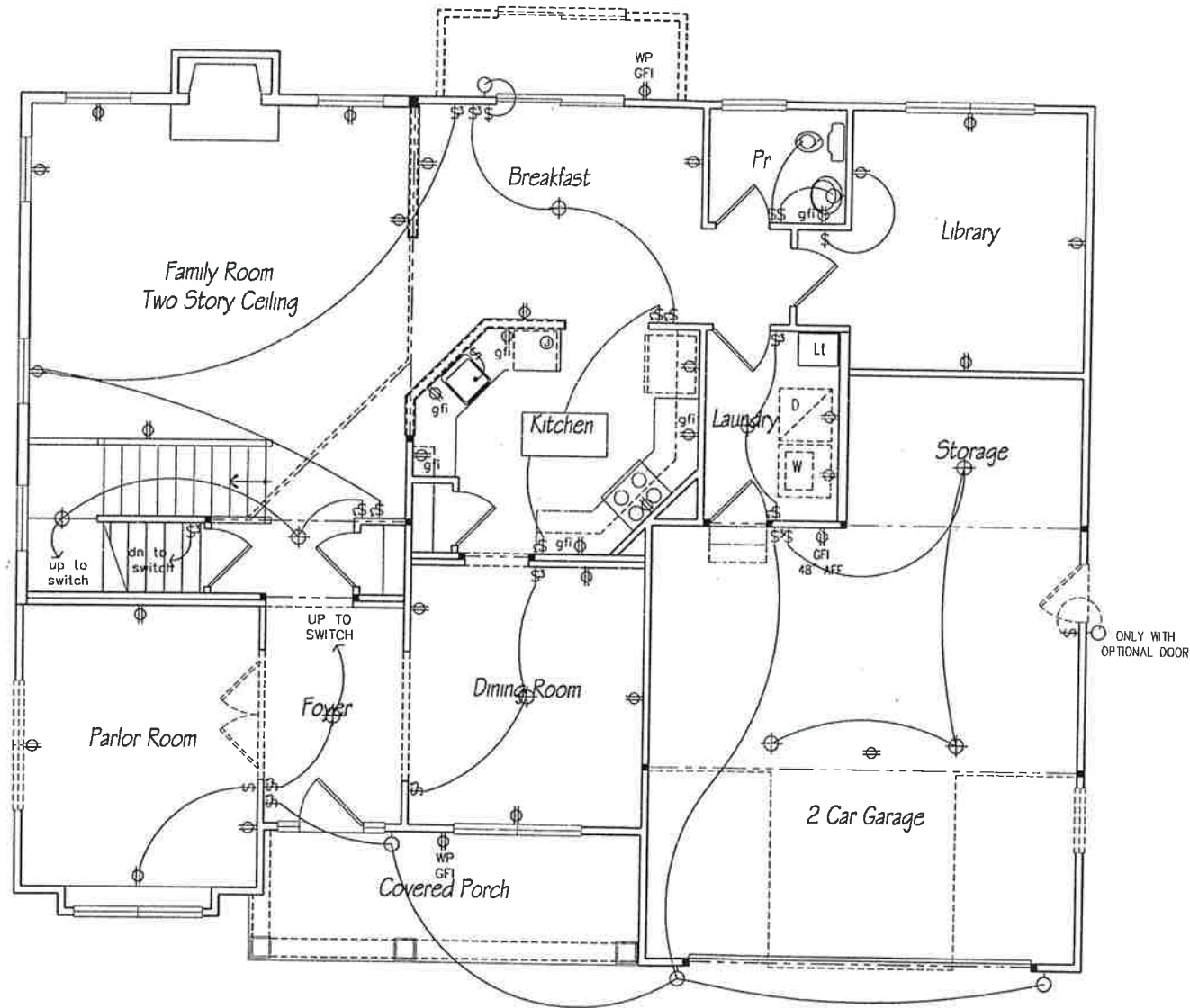
DRAWING DATE
9/2006
REVISION DATES

**ELECTRICAL LEGEND:**

- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊖ WALL MOUNTED LIGHT FIXTURE
- ⊙ RECESSED LIGHT FIXTURE
- ⊙ RECESSED LIGHT FIXTURE (EYEBALL)
- WALL MTD. STRIP FIXTURE W/ NO. OF BULBS INDICATED
- FLUORESCENT FIXTURE W /NO. OF TUBES INDICATED
- ⊖ WALL MOUNTED FLOOD LIGHTS
- ⊖ 110V. DUPLEX OUTLET : 14" ABOVE FLOOR-TYPICAL
- ⊖ 110V. DUPLEX OUTLET - 1/2 HDT : 14" ABOVE FLOOR-TYPICAL
- ⊖ 220V. OUTLET
- ⊖ WP WATERPROOF OUTLET
- ⊖ GFI GROUNDFAULT OUTLET
- ⊖ 48" DISTANCE ABOVE FLOOR : OTHER THAN 14"
- ⊖ SINGLE POLE SWITCH: 52" A.F.F. - TYPICAL
- ⊖ THREE WAY SWITCH: 52" A.F.F.- TYPICAL
- ⊖ THERMOSTAT: 60" A.F.F. - TYPICAL
- ⊖ JUNCTION BOX 110V.
- GARBAGE DISPOSAL
- ⊖ EXHAUST FAN
- ⊖ EXHAUST FAN W/ LIGHT
- ⊖ TELEVISION OUTLET
- ⊖ DOOR BELL
- ⊖ TELEPHONE OUTLET
- ⊖ SMOKE DETECTOR W/110V. JUNCTION BOX
- ⊖ CO2 DETECTOR W/110V. JUNCTION BOX
- ⊖ ELECTRICAL PANEL
- ⊖ FREEZE PROTECTED HOSE BIB

**NOTES:**

- ALL ABOVE COUNTER OUTLETS AND SWITCHES • 44" AFF
- BEDROOM SMOKE DETECTORS INSTALLED ONLY WHEN REQUIRED BY TOWNSHIP



Optional In-Law Suite

**First Floor Electrical Plan**  
scale: ref cover sheet

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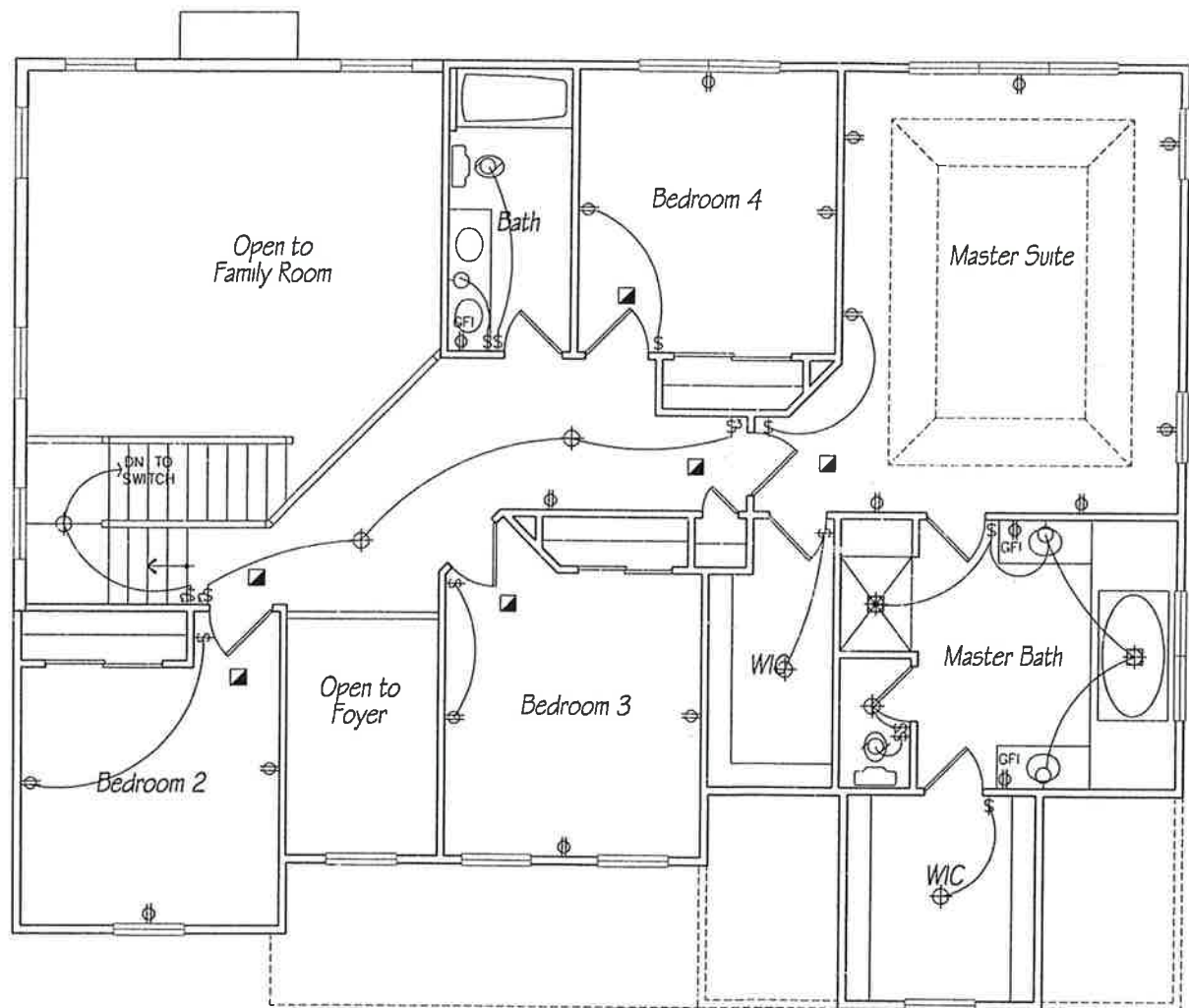
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**ELECTRICAL LEGEND:**

- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊖ WALL MOUNTED LIGHT FIXTURE
- ⊖ RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (EYEBALL)
- WALL MTD. STRIP FIXTURE W/ NO. OF BULBS INDICATED
- ⊖ FLUORESCENT FIXTURE W /NO. OF TUBES INDICATED
- ⊖ WALL MOUNTED FLOOD LIGHTS
- ⊖ 110V. DUPLEX OUTLET : 14" ABOVE FLOOR-TYPICAL
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- ⊖ 220V. OUTLET
- ⊖ WP WATERPROOF OUTLET
- ⊖ GFI GROUNDFAULT OUTLET
- ⊖ 48" DISTANCE ABOVE FLOOR : OTHER THAN 14"
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- ⊖ THERMOSTAT: 60" A.F.F. - TYPICAL
- ⊖ JUNCTION BOX 110V.
- GARBAGE DISPOSAL
- EXHAUST FAN
- ⊖ EXHAUST FAN W/ LIGHT
- ⊖ TELEVISION OUTLET
- ⊖ DOOR BELL
- ⊖ TELEPHONE OUTLET
- ⊖ SMOKE DETECTOR W/110V. JUNCTION BOX
- ⊖ CO2 DETECTOR W/110V. JUNCTION BOX
- ⊖ ELECTRICAL PANEL
- ⊖ FREEZE PROTECTED HOSE BIB

**NOTES:**

- ALL ABOVE COUNTER OUTLETS AND SWITCHES ⊕ 44" AFF
- BEDROOM SMOKE DETECTORS INSTALLED ONLY WHEN REQUIRED BY TOWNSHIP



**Second Floor Electrical Plan**  
scale: ref cover sheet

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 Fax: 215/442-7781  
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**The MNTA Group, Inc.**  
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Model J  
**DEWEY HOMES**  
 Ravens Claw - Master

DRAWING DATE
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REVISION DATES