

DEPARTMENT OF BUILDINGS
OF THE
TOWN OF RYE
10 PEARL STREET, PORT CHESTER, N. Y.

Job 317

PERMIT TO OCCUPY

No. 124

This is to Certify That Burns Const. Co. Inc.

having complied with the Zoning Ordinance, and having paid the required fee, is hereby granted permission to occupy the building erected in Section 1, Block 12A, Lot 43, as

shown on the Town Tax Maps Phyllis Place { Street } in accordance with Avenue }

Permit No. 123

Dated, Town of Rye, N. Y. Sept 27 19 50

James H. Smith
(Inspector of Buildings of the Town of Rye)

Fee \$ 2.50

 THIS PERMIT MUST BE KEPT ON PREMISES WHILE CONSTRUCTION IS UNDER WAY

DEPARTMENT OF BUILDINGS

Town of Rye

10 PEARL STREET, PORT CHESTER, N. Y.

PERMIT TO BUILD

NO. 133

This is to Certify That Berne Construction Co., Inc.

has permission to erect dwelling

Section 1 Block 12A Lot 43 Map of Rye Brook

Street or Avenue Phyllis Place

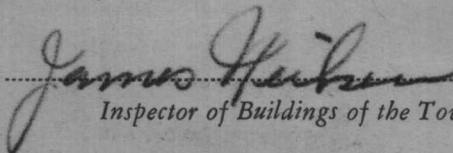
in accordance with application No. 133 and the drawings and statements on file in this office, and subject to the provisions of all State Laws, by-laws and ordinances of the Town of Rye, and rules, regulations and orders of any board, body or department, so far as the same may be pertinent.

The right is reserved to examine the premises as often as may be necessary while the work is in progress, and to order any change in the construction that may be deemed requisite to insure sufficient strength, solidity and safety.

Dated, Town of Rye, N. Y., April 24, 1950

Value \$ 7300.00

Fee \$ 10.00


Inspector of Buildings of the Town of Rye, N. Y.

IF THE BUILDING IS TO BE OCCUPIED AS AN APARTMENT, TENEMENT OR LODGING HOUSE, give following particulars:

State how many families are to occupy each floor, and the whole number of families in the house; also if any part is to be used as a store, or for any other business purpose, state the fact.

What will be the height of the ceilings? First floor.....feet; Second floor.....feet; Third floor.....feet; Fourth floor.....feet.

How are the hall partitions to be constructed, and of what materials?

Of what materials will stairways be constructed?

Of what materials will elevator or dumb-waiter shafts be constructed?

Dated, Port Chester, N. Y.,....., 19.....

Signature of Applicant.....

Address.....

COMPENSATION

NAME OF COMPANY *State Insurance Fund*

NO. OF POLICY *4210774*

DATE OF EXPIRATION *Oct. 1950*

DEPARTMENT OF BUILDINGS
TOWN OF RYE, N. Y.

No. 133

Application for Permit to Build

Owner.....

LOCATION

Street Phyllis Place

Sec. 1 Block 12A Lot 43

Map of Rye Brook

PERMIT GRANTED

Apr 24 19 50

James Heiber
Inspector of Buildings

Value, \$ 7300.00 Fee, \$ 10.00



DEPARTMENT OF BUILDINGS
TOWN OF RYE

Application For Permit To Build

10

Job #317
RT 2

To the INSPECTOR OF BUILDINGS:

Application is hereby made to the Inspector of Buildings of the Town of Rye for the approval of the detailed statement of the specifications and plans herewith submitted, for the erection of the building herein described, and for a permit to erect such building.

It is agreed that if such permission be granted, such building will be constructed in conformity with this application, and the plans and specifications thereof, as approved, and that all State laws, by-laws and ordinances of the Town of Rye, and rules, regulations and orders of any board, body or department, so far as the same may be pertinent, will be complied with.

The applicant further agrees to furnish any additional information, plans or statements, if required by the Inspector of Buildings. All plumbing and electrical work to be installed by licensed contractor.

1. What is the owner's name and address? Jemo Realty, Inc. 34 Broad St. Port Chester, N.Y.
2. What is the architect's name and address, I. Berne 34 Broad St. Port Chester, N.Y.
3. What is the builder's name and address? Berne Construction Co., Inc. Port Chester, N.Y.
4. What is the house number? 8 Street Phyllis Place Avenue
5. Section I Block 12A Lot 43
6. State how many buildings are to be erected. One
7. Number of stories in height 1 1/2
8. Size of lot: Front 110'; rear 110'; Depth 100' 38' 11 3/8"
9. Size of Building: Number of feet front 25' 7 3/8"; Number of feet rear 25' 7 3/8"; Number of feet deep 19' 8"; Number of feet in height from grade level or surface of ground to highest point of roof beam.
10. What is the estimated cost of the improvement, exclusive of the lot? \$7,300.
11. What is the purpose of the building? Dwelling
If a dwelling, for how many families? one
12. Will there be a store in the lower story? no Nature of business to be conducted x
13. Materials of foundation concrete block; Thickness of foundation 8"
Stone or concrete base? concrete; Size and Thickness 8" x 16"
14. Thickness of party walls? To first floor level x; First story x; Second story x
Third story x; Fourth story x Of what material constructed x With what material coped x
15. Will roof be flat, peaked or mansard? peaked; State material or roofing 210 lb. asphalt
16. Give size, spacing and material of floor and roof beams. First floor concrete x on xxxx Second floor 2 x 8 of Douglas Fir on centers; 16"
17. Give size and spacing of roof rafters 2 x 6 of Douglas Fir 16" on centers
18. How is the building to be heated? Gas - hot water coils in slab
19. Will the building be wired for electric lighting or power? Yes
20. Cubical contents 12,200 cu. ft.

State of New York, }
County of Westchester. } ss.:

Louis P. Palasco

being duly sworn, says that he is the

applicant above named; that he has read the foregoing application and knows the contents thereof, and that the statements therein contained are true of his own knowledge.

Subscribed and sworn to before me this

19 day of April, 19 50

Louis P. Palasco

Muriel R. Knickerbocker
Notary Public.

MURIEL R. KNICKERBOCKER
Notary Public, State of New York
Appointed for Westchester County
Commission expires March 30, 1951

NOTE

In making application for permit to build, two (2) full and complete tracings in India ink or Blue Prints of the plans thereof, drawn to a uniform scale, and a detailed statement of the specifications must accompany the application.

Two (2) plot plans must also be filed with the plans showing location of proposed building or buildings on lot scale to be 1-16 in. to 1 ft.

WESTCHESTER COUNTY DEPARTMENT OF HEALTH

William A. Holla, M. D., Commissioner

White Plains, N. Y.

PERMIT TO PROVIDE A SEWAGE DISPOSAL SYSTEM

Application having been duly made to the County Commissioner of Health as required by Article II of the Sanitary Code of the Westchester County Health District, permission is hereby given to Berne Construction Co., Inc., 34 Broad Street, Port Chester, New York for the construction or provision of a sewage disposal system consisting of a 600 gallon masonry septic tank and 48 linear feet of 30 inches wide absorption trench to serve one dwelling owned by Jenco Realty, Inc., Section 1, Block 12A, Lot 43, 8 Phyllis Place, (Subdiv.) Rye Brook, Town of Rye, New York, (maximum occupancy - 4 persons) subject to the following conditions:

I. That this department shall receive due notification and be afforded an opportunity to inspect the system before any portion is backfilled or covered.

II. That this system shall not be used until the written final approval thereof shall have been obtained from the Department of Health.

III. That such sewage disposal system shall be constructed in complete conformity with the application data and plans as approved or with approved amendments thereto. Any changes in this system must be approved.

IV. That such system shall receive only the sewage or wastes from the structures or premises covered by this permit.

V. That such system shall be so maintained and operated as not to expose sewage or sludge, or create a condition of nuisance.

VI. That this permit shall not be construed to invalidate any rule or regulation enforceable by any local authority having jurisdiction.

VII. That all duly enacted rules and regulations for the protection of water supplies shall be complied with.

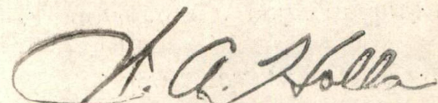
VIII. That a connection to the public sewer shall be made as soon as such is available.

IX. That whenever it is determined by the Commissioner of Health that additional or more adequate sewage disposal facilities are necessary, such facilities shall be provided, plans for which shall first be submitted to and receive the approval of the Department of Health.

X. That whenever the sludge and scum shall so accumulate in any settling tank as to occupy together at any point more than one-fourth of the distance between the bottom and the flow line, they shall be removed.

XI. That whenever sludge and scum is removed from any settling tank or any part of the system, it shall be done in such a manner as to cause no nuisance and the material disposed of by burial in some remote place at least 250 feet from any house, road, well, spring, stream or other body of water, and covered with not less than 6 inches of earth in such a manner that it will not flow or be washed by rain or melted snow or other means over the surface of the ground or into any well, stream, spring or other body of water.

XII. That this permit shall be revocable at any time or subject to modification or change when in the judgment of the Commissioner of Health such revocation, modification or change shall become necessary.



COMMISSIONER

Date: June 9, 1950

HMG:tf

THE OWNER OR HIS AGENT MUST RECEIVE THIS PERMIT OR A COPY THEREOF

Berne Construction Co., Inc.
36 Broad Street
Port Chester, N. Y.

DESIGNATIONS ON MODELS
RS - RSC - RT - RRC - RTR
RTR - RTR

EXCAVATION - Min. 3' 6" below finished grade
FOOTING - Poured concrete 1-2-5 mix
FOUNDATION - Concrete block 8' x 8" x 18"
SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish
EXTERIOR WALLS:
Studs 2" x 4" - 16" o.c.
Fir - Grade Marked
Sheathing - 1/2" Gypsum
Exterior - Asbestos Shingles, Johns Mansville or equal
Flashing - Metal
PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.
CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.
ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.
Collar Beams - Fir - Grade Marked - 2" x 4" - 4'
ROOFING:
Sheathing: 1 x 6 or 1 x 8 - solid
Shingles: 210 lb. asphalt - Johns Mansville or equal
Flashing: Metal
INTERIOR WALLS - Sheetrock 1/2"
INTERIOR TRIM:
Doors - Wood - Flush 1 3/8"
Door Trim - Metal
Base - Wood - Narrow line
WINDOWS - Wood - 1 5/8" - casement
Trim - Narrow line
ENTRANCE DOORS - Front - Wood - Flush 1 3/4"
Rear - Wood - 3 - Light - 1 3/4"
Frames - Wood
FLOORS - Entire 1st Floor - 1/8" asphalt tile
PLUMBING - Kitchen sink - Briggs #7021 or equal
Lavatory " #32210 " "
Water Closet " #2115 " "
Bathtub " #200-1 " "
HOT WATER HEATER - Rheem #21 or equal 30 Gal.
HEATING UNIT - Hydrotherm #2H15 - 100,000 B.T.U. input
with 1/2" and 3/4" copper coils in slab
INSULATION - Ceilings - 4" Rockwool
Sidewalls - 2" Rockwool
PORCHES (where erected) - Foundations, Framing Roof, and
floor same as main building.
Columns - Lally or equal
GARAGES - (where erected) Foundations, Framing Roof, and
floor same as main building.
DOOR - Overhead wood or metal
Finish - interior - sheetrock
ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk
1x6 or 1x8 n.c. covered entire
CHIMNEYS - Brick - Flue 3 x 12

SPECIFICATIONS ON MODELS
RS - RS2 - RE - RE2 - RE3
RIF1 - RIF2

EXCAVATION - Min. 3' 6" below finished grade
FOOTING - Poured concrete 1-2-5 mix
FOUNDATION - Concrete block 6' x 8" x 18"
SUB FLOOR - Concrete 4" 1-2-5 mix --- trowel finish
EXTERIOR WALLS:
Studs 2" x 4" - 16" o.c.
Fir - Grade Marked
Sheathing - $\frac{1}{2}$ " Gypsum
Exterior - Asbestos Shingles, Johns Mansville or equal
Flashing - Metal
PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.
CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.
ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.
Cellar Beams - Fir - Grade Marked - 2" x 4" - 4'
ROOFING:
Sheathing: 1 x 6 or 1 x 8 - solid
Shingles: 210 lb. asphalt - Johns Mansville or equal
Flashing: Metal
INTERIOR WALLS - Sheetrock $\frac{1}{2}$ "
INTERIOR TRIM:
Doors - Wood - Flush 1 3/8"
Door Trim - Metal
Base - Wood - Narrow line
WINDOWS - Wood - 1 5/8" - casement
Trim - Narrow line
ENTRANCE DOORS - Front - Wood - Flush 1 3/4"
Rear - Wood - 3 - Light - 1 3/4"
Frames - Wood
FLOORS - Entire 1st Floor - 1/8" asphalt tile
PLUMBING - Kitchen sink - Briggs #7021 or equal
Lavatory - " #32210 " "
Water Closet " #2115 " "
Bathtub " 2300-1 " "
HOT WATER HEATER - Rheem #81 or equal 30 Gal.
HEATING UNIT - Hydromera #2H15 - 100,000 B.T.U. input
with $\frac{1}{2}$ " and 3/4" copper coils in slab
INSULATION - Ceilings - 4" Rockwool
Sidewalls - 2" Rockwool
PORCHES (where erected) - Foundations, Framing Roof, and
floor same as main building.
Columns - Galv or equal
GARAGES - (where erected) Foundations, Framing Roof, and
floor same as main building.
DOOR - Overhead wood or metal
Finish - interior - sheetrock
ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk
1x6 or 1x8 n.c. covered entire
CHIMNEYS - Brick - Five 8 x 12

Berne Construction Co., Inc.
36 Broad Street
Port Chester, N. Y.

SPECIFICATIONS ON MODELS
RS - RSS - RT - RRS - RTT
RTM - RDM

EXCAVATION - Min. 3' 6" below finished grade

FOOTING - Poured concrete 1-2-5 mix

FOUNDATION - Concrete block 8' x 8" x 18"

SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing - $\frac{1}{2}$ " Gypsum

Exterior - Asbestos Shingles, Johns Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.

CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 4'

ROOMING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 210 lb. asphalt - Johns Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock $\frac{1}{2}$ "

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" - casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st Floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathub - " #2300-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydronema #2H75 - 100,000 B.T.U. input

with $\frac{1}{2}$ " and 3/4" copper coils in slab

INSULATION - Ceilings - 4" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Five 3 x 12

Berne Construction Co., Inc.,
36 Broad Street
Port Chester, N. Y.

SPECIFICATIONS ON MODELS
RS - RSQ - RT - RTQ - RTT
RTH - RTH

EXCAVATION - Min. 3' 6" below finished grade

FOOTING - Poured concrete 1-2-5 mix

FOUNDATION - Concrete block 8' x 8' x 18"

SUB-FLOOR - Concrete 4" 1-2-5 mix trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing - $\frac{1}{2}$ " Gypsum

Exterior - Asbestos Shingles, Johns Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.

CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 16"

ROOFING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 210 lb. asphalt - Johns Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock $\frac{1}{2}$ "

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" - casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathub - " 2200-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydronema #2H15 - 100,000 B.T.U. input

with $\frac{3}{8}$ " and 3/4" copper coils in slab

INSULATION - Ceilings - 4" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Five 8 x 12

Berne Construction Co., Inc.
36 Broad Street
Port Chester, N. Y.

SECTION ON
RS - 250
RIP - 200

EXCAVATION - Min. 3' 0" below finished grade
FOOTING - Poured concrete 1-2-4 mix
FOUNDATION - Concrete block 8' 0" x 8' 0" x 18"
SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish
EXTERIOR WALLS:
Studs 2" x 4" - 16" o.c.
Fir - Grade Marked
Sheathing - 1/2" Gypsum
Exterior - Asbestos Shingles, Joms Mansville or equal
Flashing - Metal
PARTITION FRAMING - Fir - Grade Marked - 2" x 4" - 16" o.c.
CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.
ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.
Collar Beams - Fir - Grade Marked - 2" x 4" - 4'
ROOFING:
Sheathing: 1 x 6 or 1 x 8 - solid
Shingles: 270 lb. asphalt - Joms Mansville or equal
Flashing: Metal
INTERIOR WALLS - Sheetrock 1/2"
INTERIOR TRIM:
Doors - Wood - Flush 1 3/8"
Door Trim - Metal
Base - Wood - Narrow line
WINDOWS - Wood - 1 7/8" - casement
Trim - Narrow line
ENTRANCE DOORS - Front - Wood - Flush 1 3/4"
Rear - Wood - 3 - Light - 1 3/4"
Frames - Wood
FLOORS - Entire 1st Floor - 1/8" asphalt tile
PLUMBING - Kitchen sink - Briggs #7021 or equal
Lavatory - " #32210 " "
Water Closet " #2115 " "
Bathub " #200-1 " "
HOT WATER HEATER - Rheem #21 or equal 30 Gal.
HEATING UNIT - Hydronema #2H15 - 100,000 B.T.U. input
with 3/4" and 3/4" copper coils in slab
INSULATION - Ceilings - 4" Rockwool
Sidewalls - 2" Rockwool
PORCHES (where erected) - Foundations, Framing Roof, and
floor same as main building.
Columns - Gally or equal
GARAGES - (where erected) Foundations, Framing Roof, and
floor same as main building.
DOOR - Overhead wood or metal
Finish - interior - sheetrock
ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk
1x6 or 1x8 n.c. covered entire
CHIMNEYS - Brick - Five 3 x 12

Berne Construction Co., Inc.
36 Broad Street
Port Chester, N. Y.

SECTION HEADINGS ON MODELS
R3 - R59 - RT - R70 - RTT
R110 - R12

EXCAVATION - Min. 3' 6" below finished grade

FOOTING - Poured concrete 1-3-5 mix

FOUNDATION - Concrete block 6" x 8" x 18"

SUB FLOOR - Concrete 4" 1-3-5 mix trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing - $\frac{1}{2}$ " Gypsum

Exterior - Asbestos Shingles, Joms Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2" x 4" - 16" o.c.

Ceiling FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 16"

ROOFING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 270 lb. asphalt - Joms Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock $\frac{1}{2}$ "

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" - casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathtub - " 2200-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydromera #2415 - 100,000 B.T.U. input

with $\frac{1}{2}$ " and 3/4" copper coils in slab

INSULATION - Ceiling - 4" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Blue 8 x 12

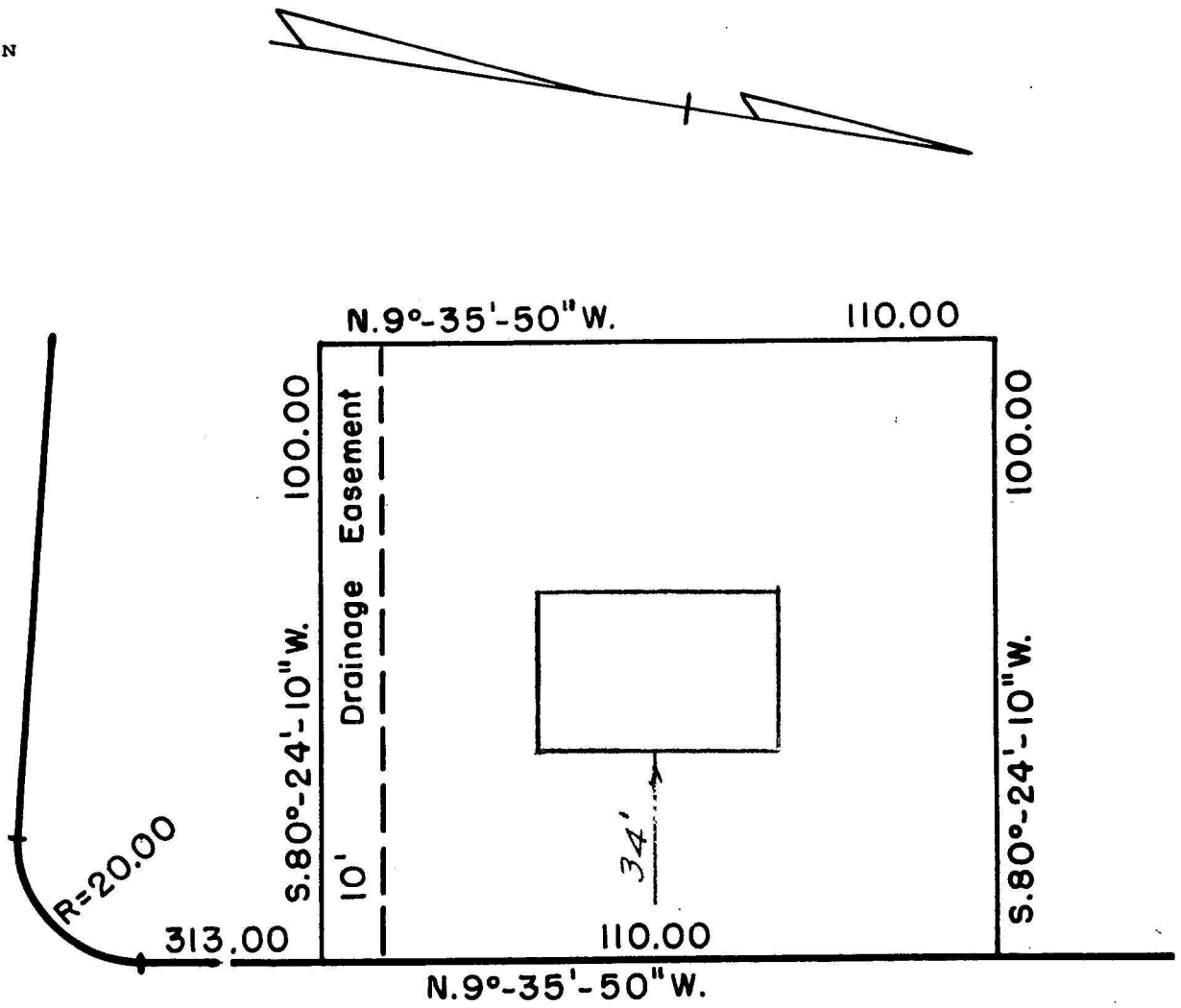
Berne Construction Co., Inc.
36 Broad Street
Port Chester, N. Y.

133

HOUSE NO. 317

- FOUNDATION
- UNDER CONSTRUCTION
- COMPLETED

SUNSET ROAD



PHYLLIS

PLACE

SURVEY OF LOT 43
 MAP OF RYE BROOK
 TOWN OF RYE

WESTCHESTER CO., NEW YORK

SCALE: 1" = 30' R. O. 7004

CERTIFIED TO THE INTER-COUNTY TITLE GUARANTY AND MORTGAGE COMPANY

49331-43

Civil Engineer & Surveyor
N. Y. State License No. 11907

Note:
Possession Only as Shown

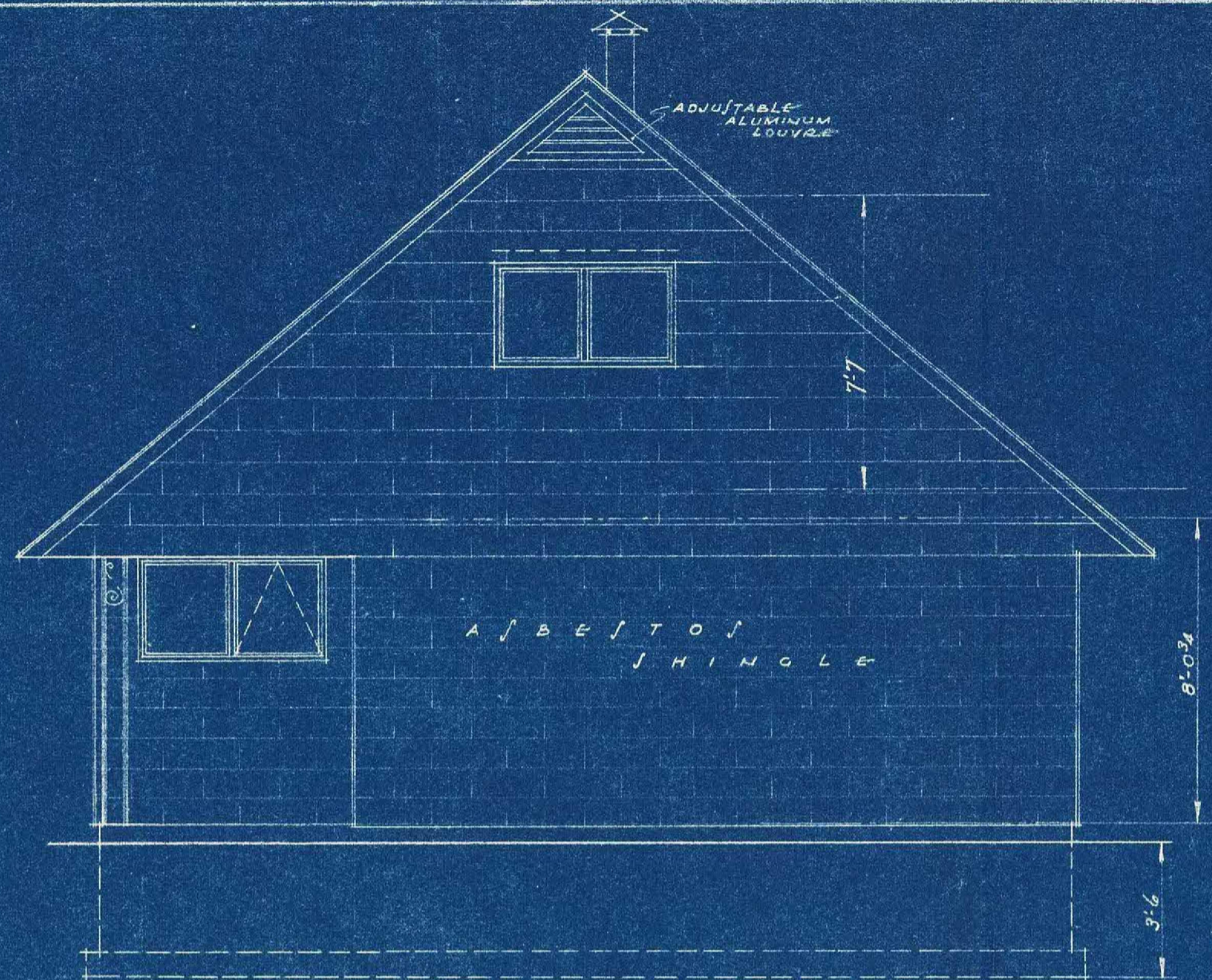
JOHN M. FARLEY & CO., Inc.
White Plains, N. Y.
Civil Engineers & Surveyors

133

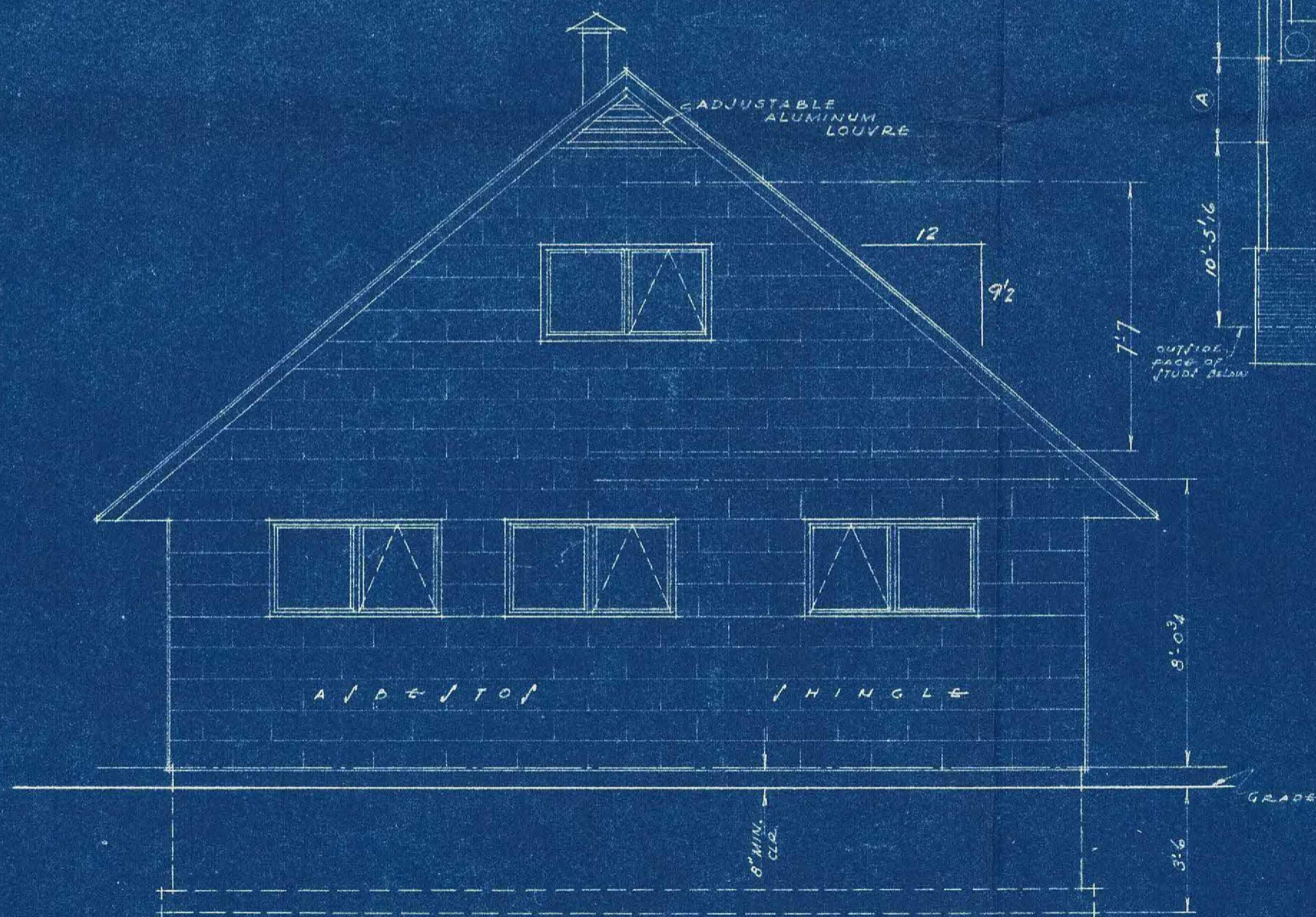
Approved
Building Inspector
Town of Rye
APR 29 1950
Dated

Permit No.	
Sec 1, Block	12A Lot 43
Date Approved	
Bldg. Insp. Village of Rye Brook	

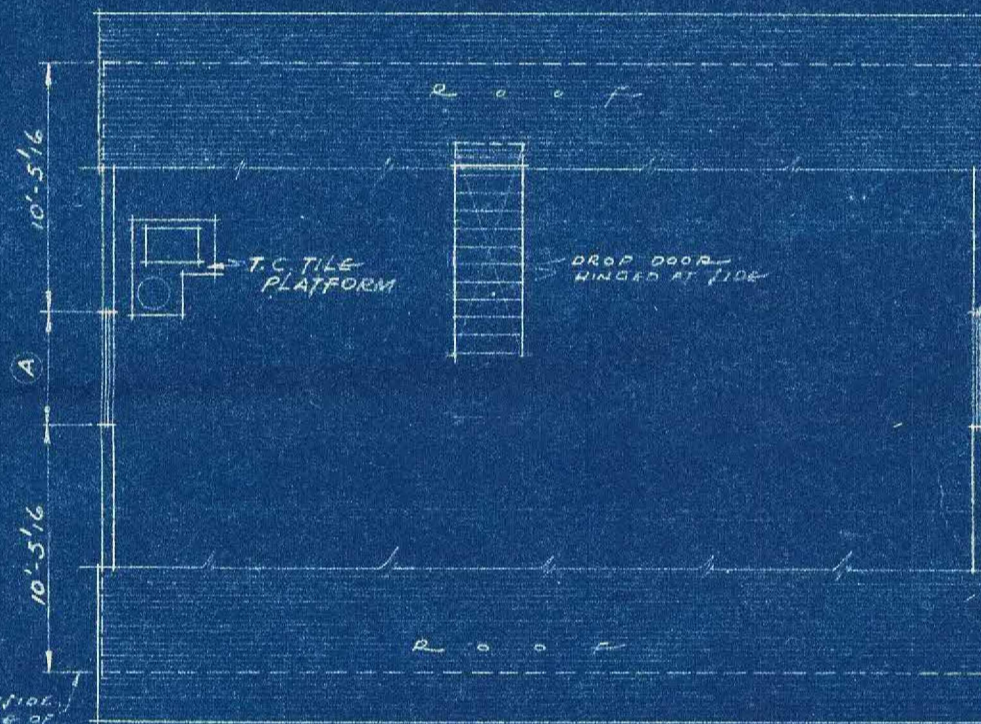
135.65-1-19



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

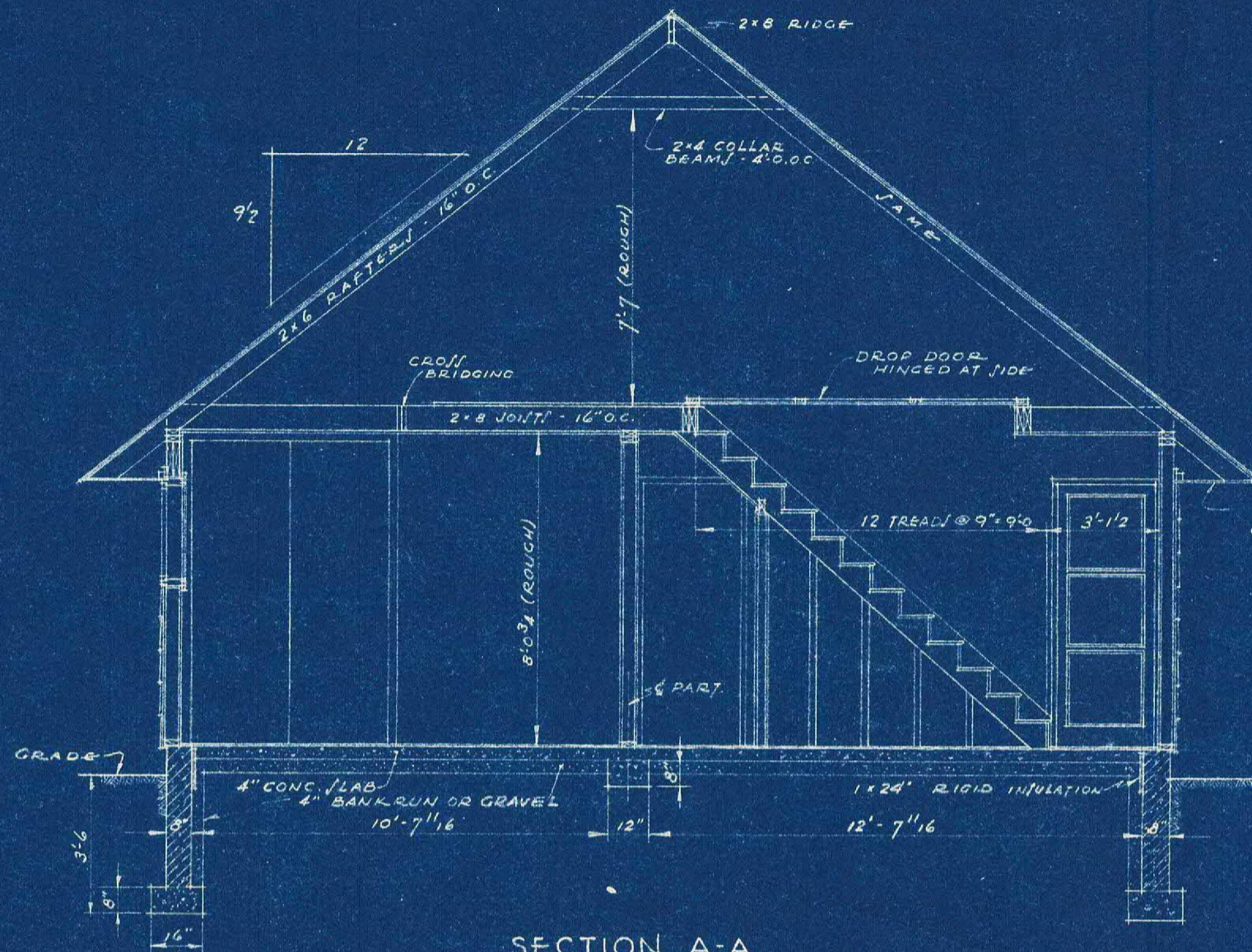


SECOND FLOOR PLAN
FOR FUTURE DEVELOPMENT
SCALE: 1/8" = 1'-0"

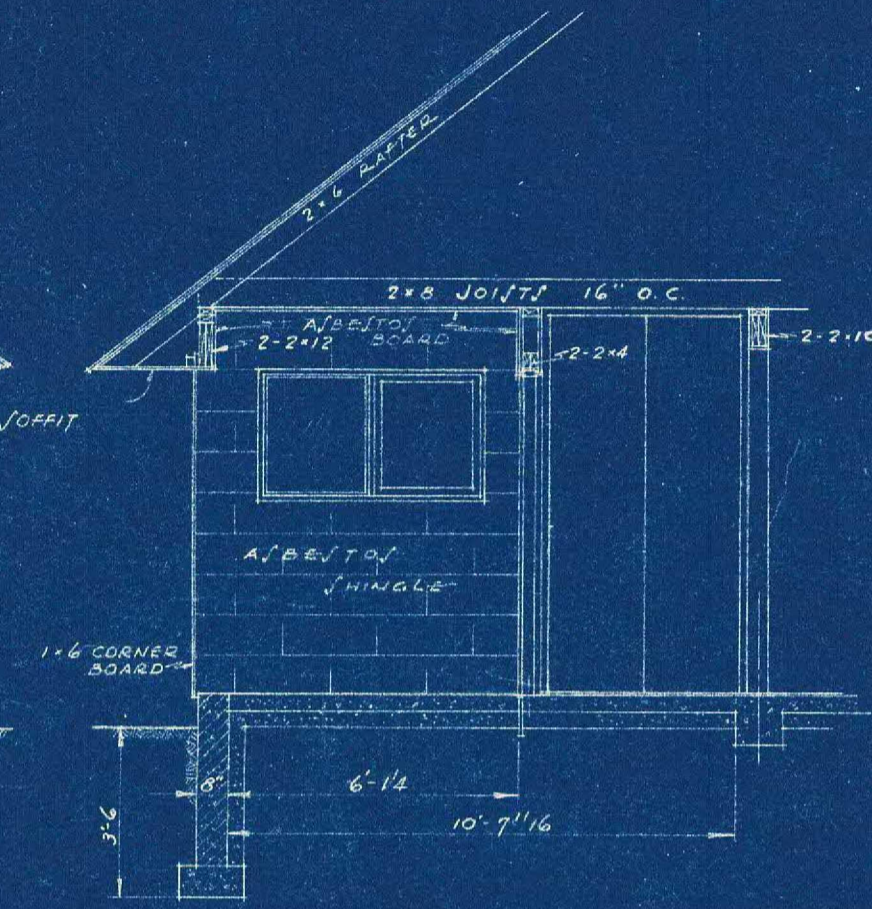
NOTES:
ALL DIMENSIONS ARE ROUGH FRAMING
DIMENSIONS UNLESS NOTED

MODEL RT¹
SIDE ELEVATIONS & 2ND FLOOR PLAN
SCALE 1/4" = 1'-0" (UNLESS NOTED)
SHEET 4 OF 5 DATE: FEB. 21, 1950
REVISED: 3/27

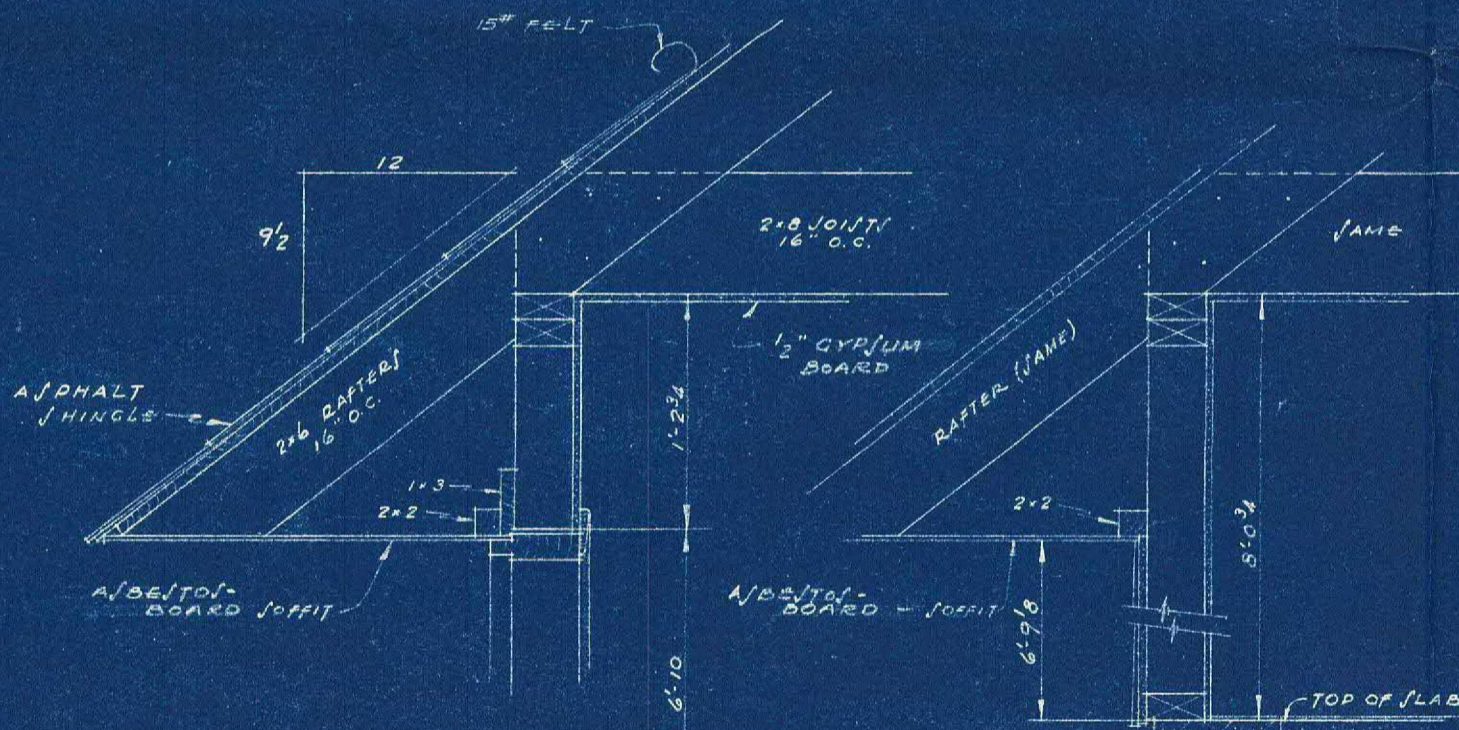
THIS DRAWING IS THE
PROPERTY OF
BERNE CONSTRUCTION CO. INC.



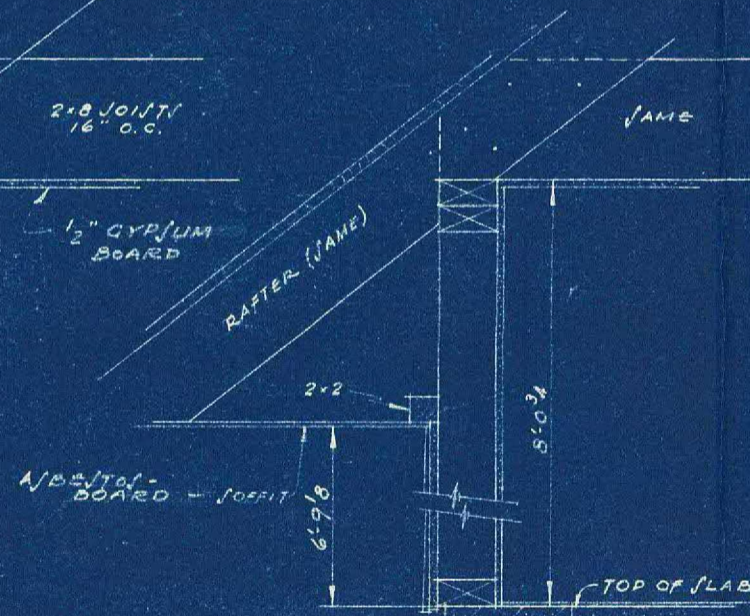
SECTION A-A
SCALE: 1/4" = 1'-0"



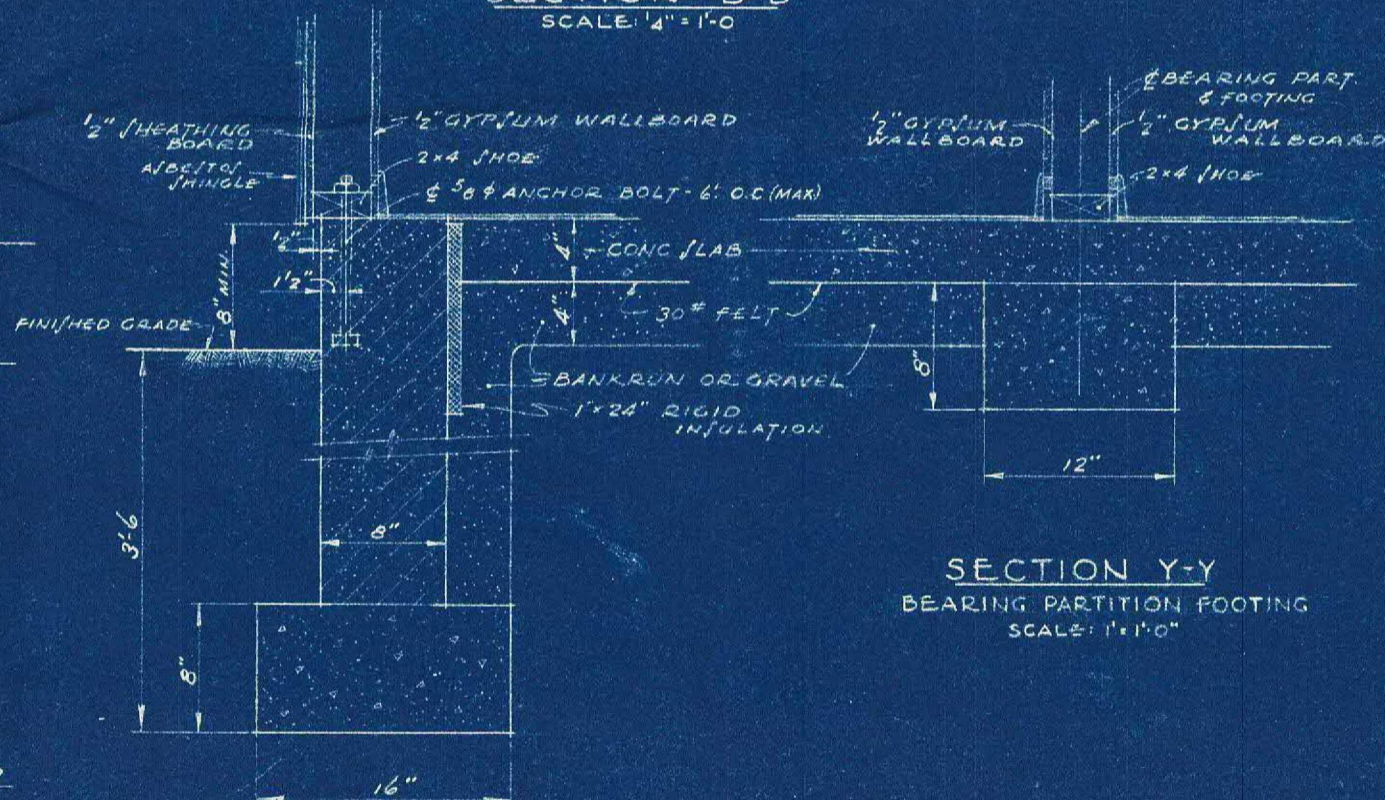
SECTION B-B
SCALE: 1/4" = 1'-0"



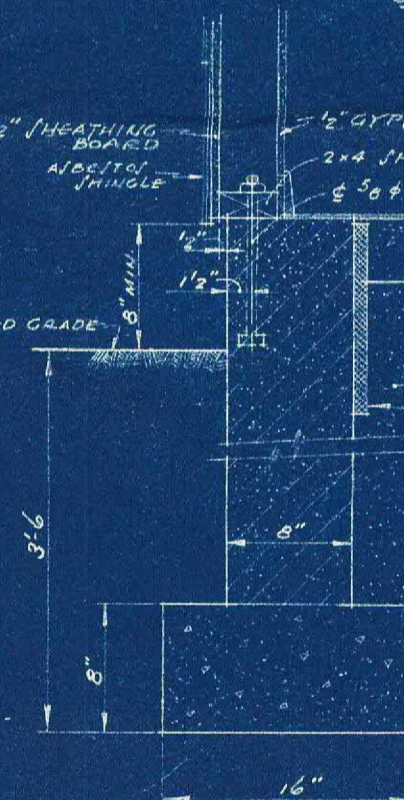
SECTION X-X
TYPICAL AT WINDOW & DOOR HEADS
SCALE: 1" = 1'-0"



SECTION W-W
TYPICAL AT NO OPENING
SCALE: 1" = 1'-0"

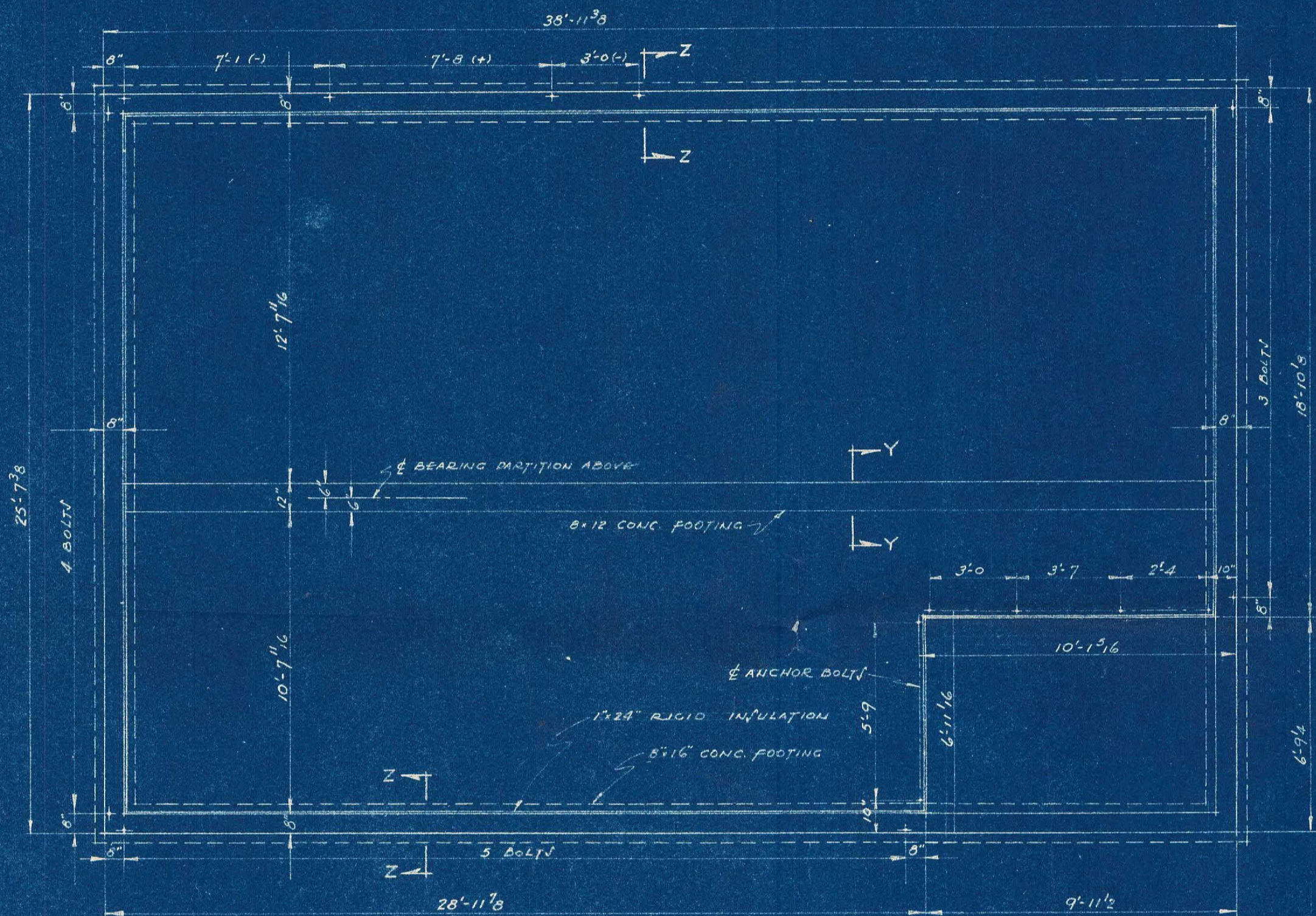


SECTION Y-Y
BEARING PARTITION FOOTING
SCALE: 1" = 1'-0"



SECTION Z-Z
PERIMETER FOOTING
SCALE: 1" = 1'-0"

TYPICAL SECTIONS
 SECTIONS "A-A, B-B, W-W, X-X, Y-Y, Z-Z"
 SCALE: AS NOTED
 SHEET 5 OF 5 DATE: MAR. 17, 1950
 REVISED:
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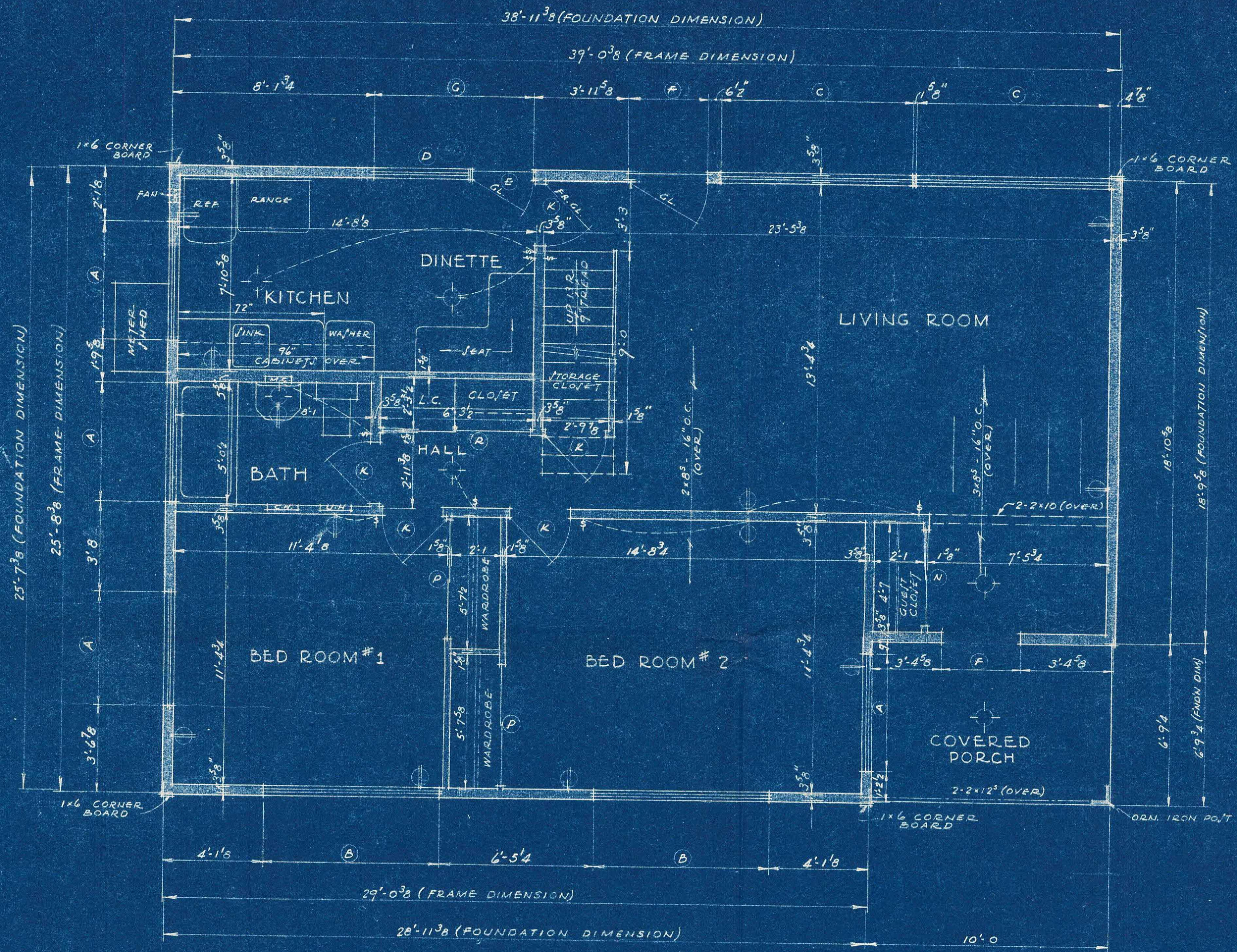


MODEL RT1
 FOUNDATION PLAN

SCALE 1/4" = 1'-0"

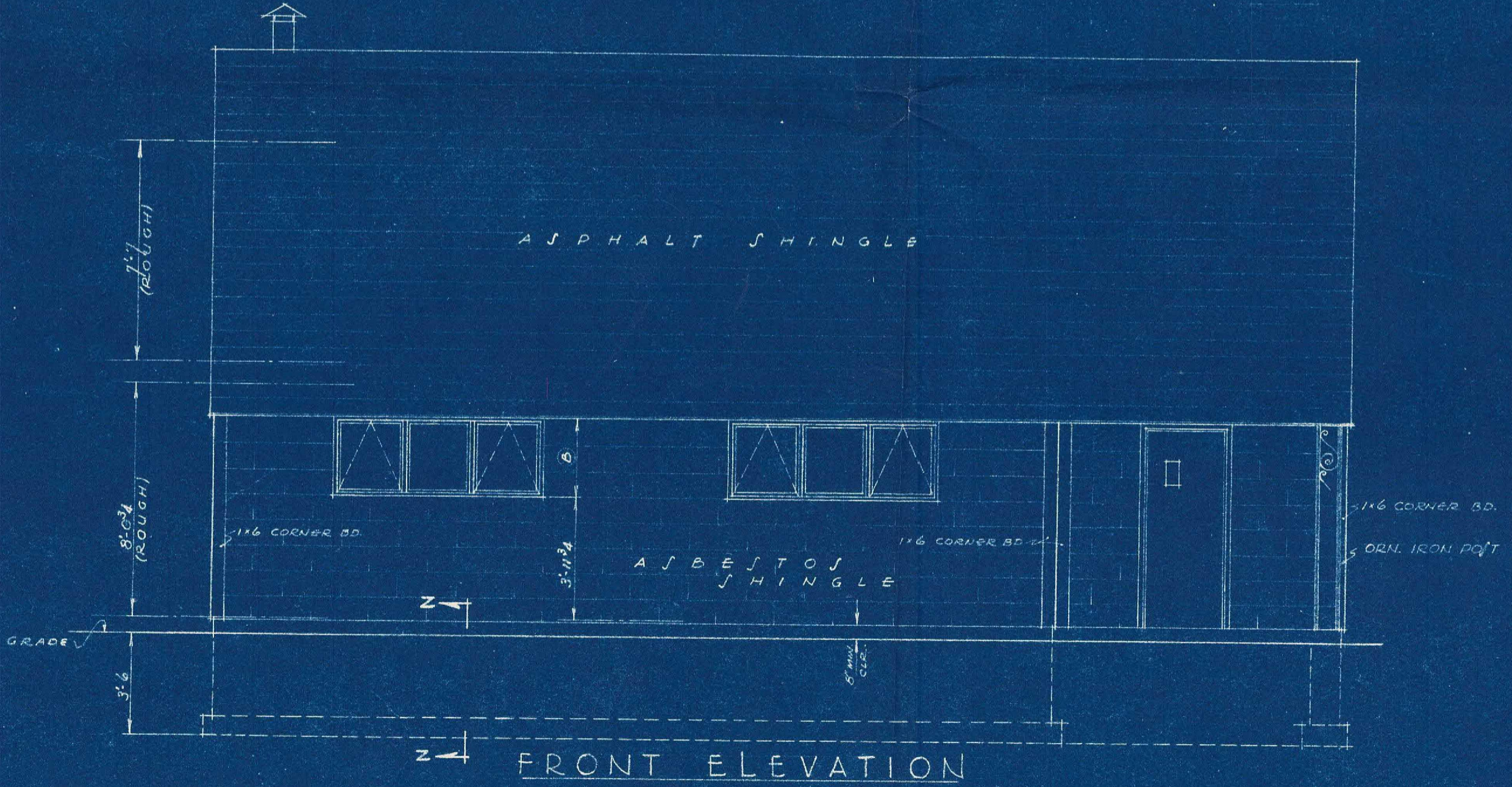
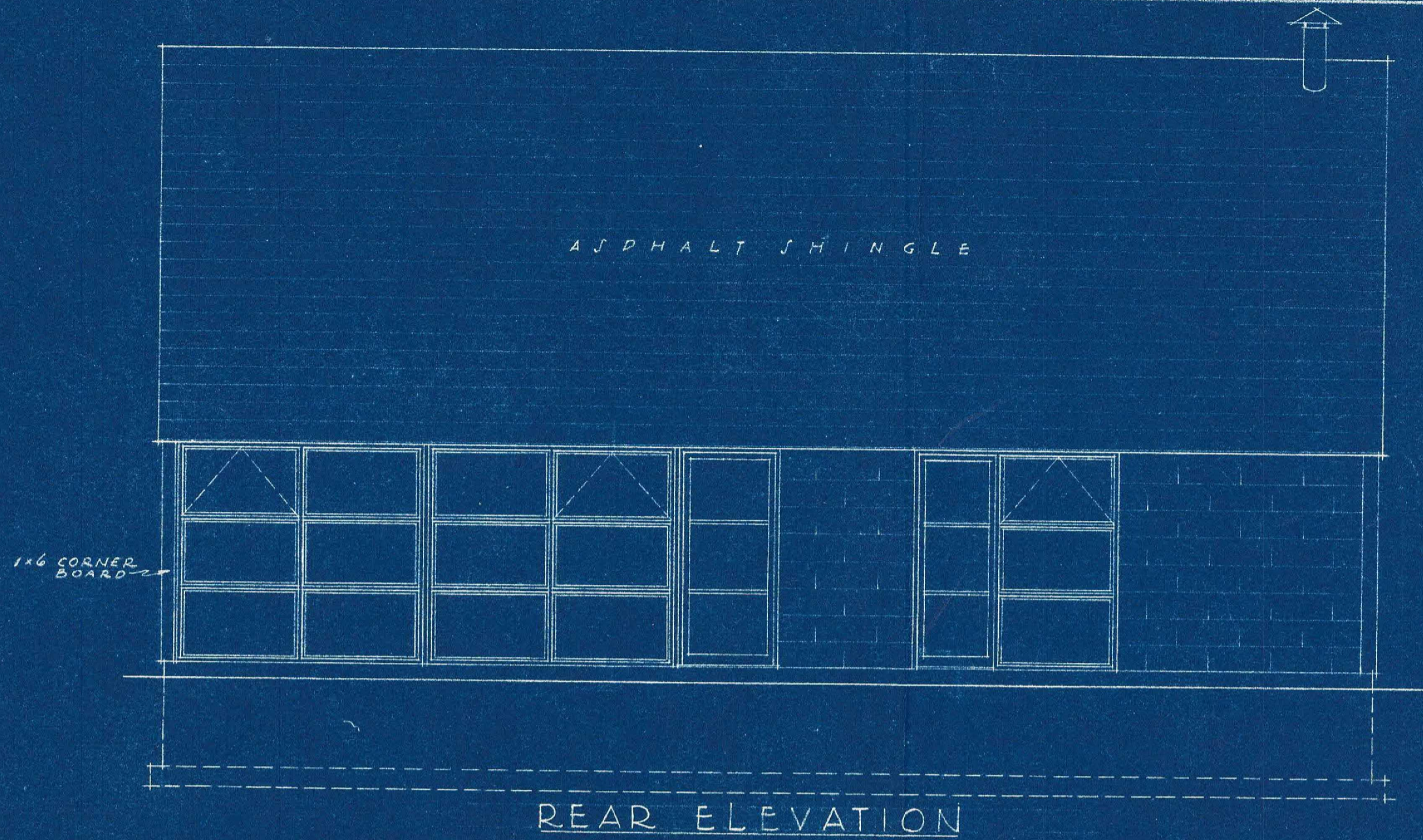
SHEET 1 OF 5 DATE: FEB. 21, 1950
 REVISED: 3/27

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NOTES:
ALL DIMENSIONS ARE ROUGH FRAMING DIMENSIONS UNLESS NOTED.

MODEL RT1 FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"	
SHEET 2 OF 5	DATE: FEB. 21, 1950
REVISED: 3/27	
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NOTES:
ALL DIMENSIONS ARE ROUGH FRAMING
DIMENSIONS UNLESS NOTED.

MODEL RT'
FRONT & REAR ELEVATIONS
SCALE 1/4" = 1'-0"
SHEET 3 OF 5 DATE: FEB. 21, 1950
REVISED: 3/27

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