



## Property Information

File#: BS-X01798-3786049212  
Owner: KEVIN OSHEA  
Address 1: 8 PHYLLIS PLACE  
Address 2:  
City, State Zip: PORT CHESTER, NY

## Request Information

Requested Date: 11/22/2024  
Branch:  
Date Completed: 12/20/2024  
# of Jurisdiction(s):  
# of Parcel(s): 1

## Update Information

Update Requested:  
Requested By:  
Update Completed:

## Notes

### CODE VIOLATIONS

Per Village of Rye Brook Department of Zoning there is a Code Violation cases on this property.

Collector: Village of Rye Brook  
Payable Address: 938 King St, Rye Brook, NY 10573  
Business# 914-939-0668

Comments: Village of Rye Brook Department of Zoning there is a Code Violation cases on this property. Please refer to the attached document for more information

### PERMITS

Per Village of Rye Brook Building Department there is a Open Permit on this property.

Collector: Village of Rye Brook  
Payable Address: 938 King St, Rye Brook, NY 10573  
Business# 914-939-0668

Comments: Per Village of Rye Brook Building Department there is a Open Permit on this property. Please refer to the attached document for more information.

### SPECIAL ASSESSMENTS

Per Village of Rye Brook Finance Department there are no Special Assessments/liens on the property.

Collector: Village of Rye Brook  
Payable Address: 938 King St, Rye Brook, NY 10573  
Business# 914-939-0668

UNABLE TO PROVIDE DOCUMENTATION TO THIRD PARTIES. VERBAL INFO ACQUIRED

### DEMOLITION

NO



UTILITIES

WATER

Account #: NA  
Payment Status: NA  
Status: Pvt & Non-Lienable  
Amount: NA  
Good Thru: NA  
Account Active: NA  
Collector: Veolia  
Payable Address: 2525 Palmer Avenue New Rochelle NY 10801  
Business # 877-266-9101

UNABLE TO PROVIDE INFO TO THIRD PARTIES. HOMEOWNER AUTHORIZATION NEEDED.

SEWER

Account #: NA  
Payment Status: NA  
Status: Pvt & Lienable  
Amount: NA  
Good Thru: NA  
Account Active: NA  
Collector: Village of Rye Brook Public works  
Payable Address: 938 King St Rye Brook, NY 10573  
Business # 914-939-0753

UNABLE TO PROVIDE INFO TO THIRD PARTIES. HOMEOWNER AUTHORIZATION NEEDED.

GARBAGE

Garbage bills are included in the real estate property taxes





Navigation [GIS Map](#) [Tax Maps](#) | [DTF Links](#) [Assessment Info](#)

[Help](#) [Contact Us](#) [Log In](#)

**Residential**

Property Info   Owner/Sales  
 Inventory   Improvements

Tax Info

Report   Comparables

Feedback Form

Municipality of Village of Rye Brook			
SWIS:	554805	Tax ID:	135.65-1-19
Tax Map ID / Property Data			
Status:	Active	Roll Section:	Taxable
Address:	8 Phyllis Pl		
Property Class:	210 - 1 Family Res	Site Property Class:	210 - 1 Family Res
Ownership Code:			
Site:	Res 1	In Ag. District:	No
Zoning Code:	R-10 SFR - 10K SqFt Min	Bldg. Style:	Cape cod
Neighborhood:	02002 - VRB BBSD/PCSD	School District:	Port Chester-Rye
Total Acreage/Size:	0.25	Equalization Rate:	----
Land Assessment:	2024 - \$185,000	Total Assessment:	2024 - \$501,100
Full Market Value:	2024 - \$501,100		
Deed Book:	40010	Deed Page:	266
Grid East:	714660	Grid North:	794051
Special Districts for 2024			
Description	Units	Percent	Value
CS481-VRB Sewer	0	0%	\$501,100
SW481-Solid Waste All Vlg	0	0%	\$501,100
Land Types			
Type	Size		
Primary	11,017.00 sq ft		

[View All Images](#)

**Photographs**

(Click on photo to enlarge it.)

Photo March 2017

Photo 1 of 13

---

**Documents**

- 2017 Historic Property Record Card
- Historic Property Record Card
- 2020 Apex Sketch

---

**Maps**

[View Tax Map](#)

[Pin Property on GIS Map](#)

[View in Google Maps](#)

[View in Bing Maps](#)

[Map Disclaimer](#)





- BUILDING INSPECTOR
- ASSISTANT BUILDING INSPECTOR
- CODE ENFORCEMENT OFFICER

# BUILDING DEPARTMENT

VILLAGE OF RYE BROOK  
 938 KING STREET • RYE BROOK, NY 10573  
 (914) 939-0668 FAX (914) 939-5801  
[www.ryebrook.org](http://www.ryebrook.org)

Court  
 date to  
 be set for  
 June

## INSPECTION REPORT

ADDRESS: 8 Anyless Place DATE: 5/12/2022

PERMIT# N/A ISSUED: \_\_\_\_\_ SECT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_

LOCATION: Exterior property OCCUPANCY: 210

VIOLATION NOTED THE WORK IS...  ACCEPTED  REJECTED/ REINSPECTION REQUIRED

- SITE INSPECTION
- FOOTING
- FOOTING DRAINAGE
- FOUNDATION
- UNDERGROUND PLUMBING
- ROUGH PLUMBING
- ROUGH FRAMING
- INSULATION
- NATURAL GAS
- L.P. GAS
- FUEL TANK
- FIRE SPRINKLER
- FINAL PLUMBING
- CROSS CONNECTION
- FINAL
- OTHER

186-2  
 186-3

O'Shea

### NOTES ON INSPECTION:

Property has fallen back into  
 violation of property maintenance  
 code

High grass, weeds, debris, garbage  
 rubbish + refuse

Final warning photo's taken



135.65- 1-19. 0  
8 PHYLLIS PL.  
1-12A-43

Nº 8736

Block 12A - Lot 43

8 Phyllis ~~Place~~ dwelling (1950) #133

CO #124 7/27/97

alt. #1557 - 6/14/68 - Prudate Letter 6/24/97



of Phyliss Lane (O'Shea)

Court file

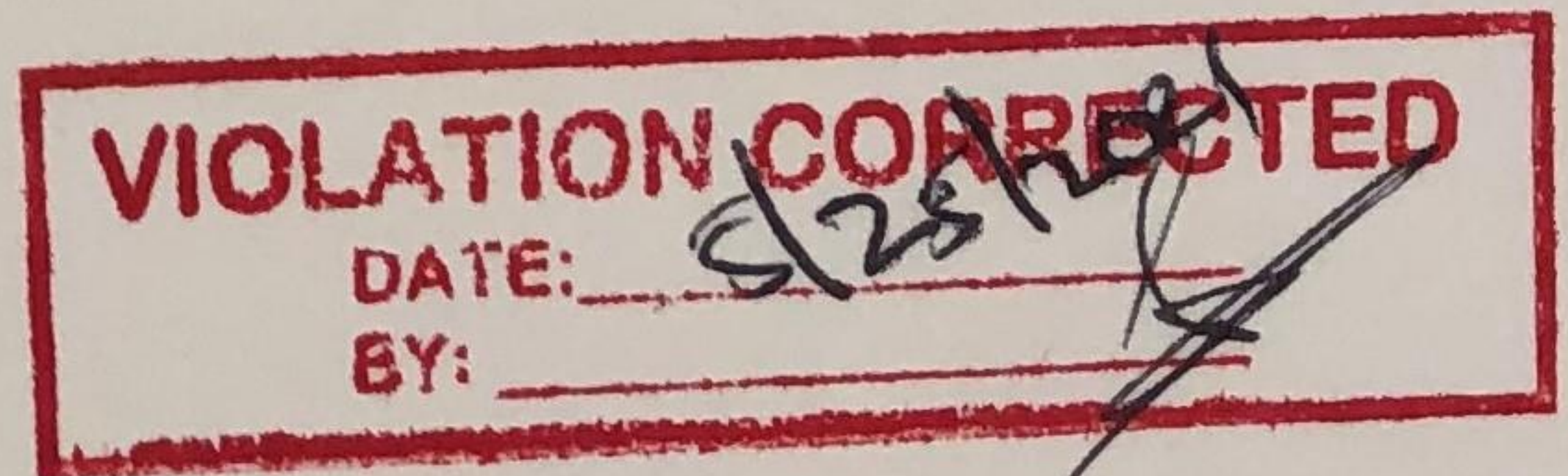
Kevin O'Shea

Appearance 4/14/2021 Mr. O'Shea Says He did all the work  
Mr. O'Shea must schedule inspection Adg

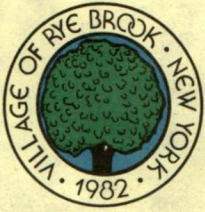
5/12/2021 for report not enough work

5/24/2021 Court Appearance virtual

Mr. O'Shea cleaned up enough to settle  
case \$ 500. fine on NYS 302.1 charge  
ACD on local 186-2 Charge 6 months  
no fine







- BUILDING INSPECTOR
- ASSISTANT BUILDING INSPECTOR
- CODE ENFORCEMENT OFFICER

# BUILDING DEPARTMENT

**VILLAGE OF RYE BROOK**  
 938 KING STREET • RYE BROOK, NY 10573  
 (914) 939-0668 FAX (914) 939-5801  
[www.ryebrook.org](http://www.ryebrook.org)

*Cleared*

## ----- INSPECTION REPORT -----

ADDRESS: 8 Phylliss Place DATE: 5/25/2021

PERMIT# N/A ISSUED: \_\_\_\_\_ SECT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_

LOCATION: Property maintenance OCCUPANCY: 218

VIOLATION NOTED      THE WORK IS...  ACCEPTED       REJECTED/ REINSPECTION REQUIRED

- SITE INSPECTION
- FOOTING
- FOOTING DRAINAGE
- FOUNDATION
- UNDERGROUND PLUMBING
- ROUGH PLUMBING
- ROUGH FRAMING
- INSULATION
- NATURAL GAS
- L.P. GAS
- FUEL TANK
- FIRE SPRINKLER
- FINAL PLUMBING
- CROSS CONNECTION
- FINAL
- OTHER

*w/ m. o' Shea*

NOTES ON INSPECTION:

*Site inspection to note significant progress in clearing up*

*weeds, brush leaves, high grass etc*

*must maintain property or face new charges*



Kevin O'Shea  
8 Phyllis Pl.  
Rye Brook, NY 10573



Mr. Fews  
Rye Brook Building Dept.

Feb. 19, 2021,

Dear Mr. Fews,

First I want to apologize for this going on as long as it has.

I realized recently that I was in a depression (I lost a 4 close friends for different reasons in a little over a year). That is why for the first 6 months I got practically nothing done, that also affected my business, so my finances were in terrible shape, so I couldn't just pay to get the work done.

I have gotten all the things that you asked for done. The cut down tree trunks are gone. The yard is pretty much cleared, unfortunately so is most of my privacy.

The private patio is not cleared, but no-one else can see that, so there should be no complaints.

You have my word that it will be completely cleared as soon as the weather permits.

Thank you for your attention.

Best

Kevin O'Shea

*P.S. The town sanitation does not  
take away cut up trees.*



CERTIFIED MAIL 
  
HAND DELIVERED

**BUILDING DEPARTMENT**  
**VILLAGE OF RYE BROOK**  
938 KING STREET RYE BROOK, NY 10573  
(914) 939-0668 FAX (914) 939-5801

**NOTICE OF VIOLATION AND ORDER TO REMEDY SAME**

OWNER: Kevin O'Shea  
8 Phylliss Place  
Rye Brook New York  
10573

VIOLATION# 2060  
NOTICE:# 2  
SECTION: 135.65  
BLOCK: 1  
LOT: 14

THE FOLLOWING VIOLATIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND/OR, THE CODE OF THE VILLAGE OF RYE BROOK WERE FOUND TO EXIST AT....  
8 Phylliss Place, LOCATED IN AN R-10 ZONE,  
IN THE COUNTY OF WESTCHESTER, VILLAGE OF RYE BROOK, NY ON, 11/3 20 18.

CODE	SECTION	TITLE/DESCRIPTION
Village	186-2. A (3)	Trimming of Brush and Removal of Hazards
village	186-2-A(1-2)	Property maintenance
		New York State Violation charge 302.1 of property maintenance code

NOTES: you have allowed the property to be over accumulated with various items of garbage rubbish & refuse including but not limited to. High grass, weeds, brush cut trees logs & limbs fallen trees branches, twigs leaves Discards of furniture, storage items & other items photograph

You are hereby directed to contact this department, obtain all necessary permits & commence to correct the above captioned violation(s) immediately. Violations of the NYSUFP&BC must be remedied by, 12/3, 20 18, which is thirty (30) days after the date of this notice and are returnable at the rate of \$1,000.00/day for each day of continued violation, or imprisonment not exceeding one year, or both. A re-inspection of the premises is required by law to confirm compliance with this notice & all applicable codes.

**FAILURE TO COMPLY WITH THIS NOTICE IS A CRIME PUNISHABLE BY FINE, IMPRISONMENT OR BOTH.**

Warning notice

Before court

Summons is issued

  
 BUILDING INSPECTOR  
 ASSISTANT BUILDING INSPECTOR  
 VILLAGE ENGINEER





JUSTICE COURT OF THE TOWN OF RYE  
STATE OF NEW YORK: COUNTY OF WESTCHESTER

X

PEOPLE OF THE STATE OF NEW YORK,

-against-

KEVIN A. O'SHEA

Defendant

No. E.0180

X

Be it known that I, STEVEN E. FEWS the complainant herein and duly authorized Code Enforcement Officer of the Village of Rye Brook, do hereby accuse the defendant(s) named above, residing at 8 PHYLISS PLACE, who is the, OWNER of the property at which the following offences were committed, at, 8 PHYLISS PLACE in the Village of Rye Brook, State of New York, on the 2<sup>nd</sup> day of, October 2019 at or about 3:00PM o'clock.

**COUNT ONE:** VILLAGE CODE 186-2.A.(3) TRIMMING OF BRUSH AND REMOVAL OF HAZARDS

**TO WIT:** In that the above named defendant did allow or cause to allow the exterior property to be accumulated with garbage, rubbish and/or refuse in violation of village code. Said accumulations are including but not limited to, discarded wood furniture, branches, twigs, brush, leaves and other items as depicted in the attached photos.

**COUNT TWO:** VILLAGE CODE 186-2.A.(1-2) PROPERTY MAINTENANCE,

**TO WIT:** In that the above named defendant has allowed or cause to allow there to be areas of high grass, weeds, untrimmed bushes and other plant-life in violation of Village code.

**COUNT THREE:** NEW YORK STATE PROPERTY MAINTENANCE CODE 302.1 SANITATION

**TO WIT:** In that the above named defendant did allow or cause to allow the exterior premises to be kept and maintained in an unsanitary manner. Accumulations of garbage, rubbish, refuse and discarded items in violation of the New York State Property Maintenance Code.

All the above is contrary to the provisions of the statutes in such case made and provided. The above allegations of fact are made by the complainant herein on direct knowledge (and upon information and belief), the source of which being an inspection(s) on October 2<sup>nd</sup> 2019. Any false statements made herein are punishable as a Class "A" Misdemeanor pursuant to §210.25 of the NY Penal Law.

Dated

10/2/19

Code Enforcement Officer

**APPEARANCE TICKET**

You are hereby directed to appear before the Justice Court of the Town of Rye, 350 North Main Street, Port Chester, New York 10573, (914)-939-3305, at 9:00am on the 30<sup>th</sup> day of October 2019, in connection with your alleged commission of the above described offense.

**NOTE: UPON FAILURE TO APPEAR, A WARRANT MAY BE ISSUED FOR YOUR ARREST**

Dated

10/3/19

Code Enforcement Officer





PLEASE STAMP HERE  
OF THE RETURN ADDRESS, FOLD AT DOTTED LINE  
**CERTIFIED MAIL**



7016 0910 0002 2420 8044



U.S. POSTAGE PITNEY BOWES



ZIP 10573 \$ 006.67<sup>0</sup>  
02 1W  
0001394763 NOV 03 2018

**VILLAGE OF RYE BROOK**

938 King Street, Rye Brook, N.Y. 10573

Kevin O'Shea  
8 Phylliss Place  
Rye Brook NY



U.S. POSTAGE PITNEY BOWES



ZIP 10573 \$ 000.47<sup>0</sup>  
02 1W  
0001394763 NOV 03 2018

**VILLAGE OF RYE BROOK**

938 King Street, Rye Brook, N.Y. 10573

Kevin O'Shea  
8 Phylliss Pl  
Rye Brook NY 10573

7016 0910 0002 2420 8044

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postmark  
Here

Postage	
\$	
<b>Total Postage and Fees</b>	
\$	

<i>Sent To</i>	
..... <i>Street and Apt. No., or PO Box No.</i>	
..... <i>City, State, ZIP+4®</i>	



---

**VILLAGE OF RYE BROOK**

---

938 King Street, Rye Brook, N.Y. 10573

(914) 939-0668 Fax (914) 939-5801

**MAYOR**

Francis L. Filipowski

**TRUSTEES**

Jody H. Brackman

Donald Degling

Roger Herman

Gary Zuckerman

**ADMINISTRATOR**

Christopher J. Russo

**BUILDING INSPECTOR**

William J. Gerety

May 21, 1999

Mr. & Mrs. Robert Bertolacci  
8 Phyllis Place  
Rye Brook, New York 10573

**Re: 8 Phyllis Place**  
**Section: 1 Block: 12A Lot: 43**

To Whom It May Concern:

135-65-1-19

Please be advised that as per state and local regulations, accessory buildings less than one hundred square feet (10' X 10') in area, can be erected on residential properties without a building permit.

WJG/rm

Sincerely,

William J. Gerety  
Building Inspector



**VIOLATION CORRECTED**  
DATE: AUG 24 2016  
BY: [Signature]



JUSTICE COURT OF THE TOWN OF RYE  
STATE OF NEW YORK: COUNTY OF WESTCHESTER

X

PEOPLE OF THE STATE OF NEW YORK,

-against-

KEVIN A. O'SHEA

Defendant

**No. E.0123**

X

Be it known that I, STEVEN E. FEWS the complainant herein and duly authorized Code Enforcement Officer of the Village of Rye Brook, do hereby accuse the defendant(s) named above, residing at 8 PHYLISS PLACE, who is the, OWNER of the property at which the following offences were committed, at, 8 PHYLISS PLACE in the Village of Rye Brook, State of New York, on the 12 day of, JULY 2016 at or about 6:00PM o'clock.

**COUNT ONE:** VILLAGE CODE 186-2.A.(3) TRIMMING OF BRUSH AND REMOVAL OF HAZARDS

**TO WIT:** In that the above named defendant did allow or cause to allow the exterior property to be accumulated with garbage, rubbish and/or refuse in violation of village code. Said accumulations are including but not limited to, discarded wood furniture, branches, twigs, brush, leaves and other items as depicted in the attached photos.

**COUNT TWO:** VILLAGE CODE 186-2.A.(1-2) PROPERTY MAINTENANCE,

**TO WIT:** In that the above named defendant has allowed or cause to allow there to be areas of high grass, weeds, untrimmed bushes and other plant-life in violation of Village code.

**COUNT THREE:** NEW YORK STATE PROPERTY MAINTENANCE CODE 302.1 SANITATION

**TO WIT:** In that the above named defendant did allow or cause to allow the exterior premises to be kept and maintained in an unsanitary manner. Accumulations of garbage, rubbish, refuse and discarded items in violation of the New York State Property Maintenance Code.

All the above is contrary to the provisions of the statutes in such case made and provided. The above allegations of fact are made by the complainant herein on direct knowledge (and upon information and belief), the source of which being an inspection(s) on, April 1, 2016, and July 12, 2016

Any false statements made herein are punishable as a Class "A" Misdemeanor pursuant to §210.25 of the NY Penal Law.

Dated 7/12/16

[Signature]  
Code Enforcement Officer

**APPEARANCE TICKET**

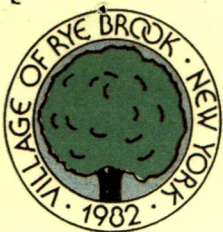
You are hereby directed to appear before the Justice Court of the Town of Rye, 350 North Main Street, Port Chester, New York 10573, (914)-939-3305, at 9:00am on the 27th day of July 2016, in connection with your alleged commission of the above described offense.

**NOTE: UPON FAILURE TO APPEAR, A WARRANT MAY BE ISSUED FOR YOUR ARREST**

Dated 7/12/16

[Signature]  
Code Enforcement Officer





# BUILDING DEPARTMENT

- BUILDING INSPECTOR
- VILLAGE ENGINEER
- ASSISTANT BUILDING INSPECTOR

VILLAGE OF RYE BROOK  
 938 KING STREET RYE BROOK, NY 10573  
 (914) 939-0668 FAX (914) 939-5801

## ----- INSPECTION REPORT -----

ADDRESS: 8 Phylliss Place DATE: 4/1/16

PERMIT # N/A ISSUED: \_\_\_\_\_ SECT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_

LOCATION: front + side yards OCCUPANCY: 216

VIOLATION NOTED THE WORK IS...  ACCEPTED  REJECTED / REINSPECTION REQUIRED

- SITE INSPECTION
- FOOTING
- FOOTING DRAINAGE
- FOUNDATION
- UNDERGROUND PLUMBING
- ROUGH PLUMBING
- ROUGH FRAMING
- INSULATION
- NATURAL GAS
- L.P. GAS
- FUEL TANK
- FIRE SPRINKLER
- FINAL PLUMBING
- FINAL
- OTHER

### NOTES ON INSPECTION:


Exterior of property is in a  
state of violations of local  
+ state property maintenance codes

(1) Accumulations of Garbage  
Rubbish + Refuse photos taken

Including but not limited to  
old discarded furniture + yard/patio furniture  
wood pallets fallen tree + brush accumulations  
Branches, twigs leaves.

Property must be cleaned + brought into  
compliance to AVOID FINES

Local 186-2-3 \$ 250.00 per week  
NYS Pm 302-1 \$ 1,000.00 per week

 THIS PERMIT MUST BE KEPT ON PREMISES WHILE CONSTRUCTION IS UNDER WAY

DEPARTMENT OF BUILDINGS  
Town of Rye  
10 PEARL STREET, PORT CHESTER, N. Y.


**PERMIT TO BUILD** No 1557

This is to Certify That PHILIP GARSON  
has permission to erect DORNIER  
Section 1 Block 12A Lot 43 Map of RYE BROOK  
Street or Avenue 8 PHYLLIS PLACE  
in accordance with application No. 1557 and the drawings and statements on file in this office, and subject to the provisions of all State Laws, by-laws and ordinances of the Town of Rye, and rules, regulations and orders of any board, body or department, so far as the same may be pertinent.

The right is reserved to examine the premises as often as may be necessary while the work is in progress, and to order any change in the construction that may be deemed requisite to insure sufficient strength, solidity and safety.

Dated, Town of Rye, N. Y. JUNE 14, 19 68

Value \$ 750<sup>00</sup>  
Fee \$ 3.00

  
Inspector of Buildings of the Town of Rye, N. Y.





939-6999 Home  
7908-6800 - Office

**Department of Buildings**  
TOWN OF RYE  
10 PEARL STREET  
PORT CHESTER, NEW YORK

No. 1557

**Application for Alterations  
and Repairs**

Owner PHILIP GARSON

LOCATION

Street 8 PHYLLIS PLACE

Section 1 Block 12A Lot 43

Map of RYE BROOK

PERMIT GRANTED

JUNE 14, 1968

Julius C. Nelson  
Inspector of Buildings

Value, \$ 750 Fee, \$ 3.00

State of New York }  
County of Westchester } ss.:

W. V. R. James

....., being duly sworn, says that he is the  
..... applicant above named; that he has read the foregoing

application and knows the contents thereof, and that the statements therein contained are true of his own knowledge.

Subscribed and sworn to before me this

14 day of June, 1968

Philip Garson

Signature of Applicant

Julius C. Nelson

Notary Public



DEPARTMENT OF BUILDINGS  
TOWN OF RYE  
10 PEARL STREET  
PORT CHESTER, NEW YORK  
APPLICATION FOR ALTERATIONS AND REPAIRS

Application is hereby made to the Inspector of Buildings of the Town of Rye for the approval of the detailed statement of the specifications and plans herewith submitted, for the alteration of the building herein described, and for a permit to alter such building.

It is agreed that if such permission be granted, such building will be constructed in conformity with this application, and the plans and specifications thereof as approved, and that all State laws, by-laws and ordinances of the Town of Rye, and rules, regulations and orders of any board, body or department, so far as the same may be pertinent, will be complied with.

The applicant further agrees to furnish any additional information, plans or statements, if required by the Inspector of Buildings.

1. What is the owner's name and address? *PHILIP GARSON*
2. What is the architect's name and address? *MICK VARSAMES 1701 MAIN ST Peekskill*
3. What is the builder's name and address? *E. J. KORVETTES*
4. What is the house number? *8* Street *PHYLLIS PLACE*  
Avenue
5. What is the number of the Section, I, Block. *12A* Lot. *43*
6. How is building occupied at present? *1 FAMILY RESIDENTIAL CAPE COD*
7. How to be occupied *1 FAMILY*
8. Estimated cost of alterations or repairs. *8750*

(State definitely nature of proposed alterations and repairs)

I propose to

*ERECT SHELL DORMER APPROX 33' LONG  
NO. ELECTRIC HEAT, IR PLUMBING*

Will any workman be employed on this construction? *YES*

Are you insured under Section 57 of the Workmen's Compensation Law? *YES*

Agent or Company holding such policy. *MARYLAND CASUALTY CO* Date of expiration of policy *5/9/19*

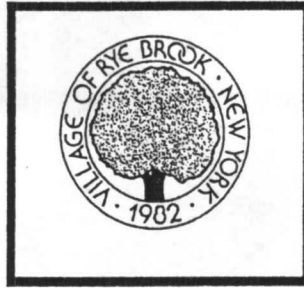
Applicant agrees to continue in force at all times adequate insurance as provided by law. *01-8368-55*

Dated, Town of Rye, Port Chester, N. Y. ...., 19.....

Signature of Applicant *Mick Varsames*

Address *1701 MAIN ST Peekskill*

*NICK VARSAMES N.Y.*



-----VILLAGE OF RYE BROOK-----

938 King Street, Rye Brook, N.Y. 10573  
(914) 939-0668 Fax (914) 939-5801

**BUILDING DEPARTMENT**

Larry Nardecchia, Jr. P.E.  
(Acting Building Inspector)

**PUBLIC WORKS DEPARTMENT**

June 9, 1997

Mr. DeGiacomo  
8 Phyllis Place  
Rye Brook, New York 10573

**Re: Building Permit # 1557; Dated: June 14, 1968**  
**Section 1; Block 12A; Lot 43**

Dear Mr. DeGiacomo:

The policy prior to 1980 concerning certificates of occupancy on permits for additions, alterations and repairs was at the discretion of the Building Inspector depending on the size and nature of the addition, alteration or repair.

The above mentioned Building Permit was not issued a certificate of occupancy at that time and is not required now.

Sincerely,

Larry Nardecchia, Jr., P.E.  
Acting Building Inspector

LN/rm

# The New York Board of Fire Underwriters

BUREAU OF ELECTRICITY  
85 JOHN STREET, NEW YORK, NEW YORK 10038

N773679

Date November 18, 1969 Application No. on file 286651

N 773679

**This Certifies,**

that the electrical equipment as described below and introduced by the applicant named on the above application number in the premises of P. Garson, 8 Phyllis Place, Rye, N.Y.

in the following location;  Basement  1st Fl.  2nd Fl. Section Block Lot  
was examined on November 12, 1969 and found to be in compliance with the requirements of this Board.

FIXTURE OUTLETS		RECEPTACLES		SWITCHES		FIXTURES			RANGES		COOKING DECKS		OVENS		DISH WASHERS		EXHAUST FANS			
						INCANDESCENT	FLUORESCENT	MERCURY VAPOR	AMT.	K. W.	AMT.	K. W.	AMT.	K. W.	AMT.	K. W.	AMT.	H. P.		
6		15		10		6														
DRYERS		FURNACE MOTORS				FUTURE APPLIANCE FEEDERS			SPECIAL REC'PT.		TIME CLOCKS		BELL TRANS.	UNIT HEATERS		MULTI-OUTLET SYSTEMS NO. OF FEET		DIMMERS		
AMT.	K. W.	OIL	H. P.	GAS	H. P.	AMT.	NO.	A. W. G.	AMT.	AMP.	AMT.	AMPS.		AMT.	H. P.			AMT.	WATTS	
SERVICE DISCONNECT			NO. OF METER EQUIP.	S E R V I C E																
AMT.	AMP.	TYPE		1 Ø 2W	1 Ø 3W	3 Ø 3W	3 Ø 4W	NO. OF CC. COND. PER Ø	A. W. G. OF CC. COND.	NO. OF HI-LEG	A. W. G. OF HI-LEG	NO. OF NEUTRALS	A. W. G. OF NEUTRAL							
1	100	CB						1	2			1	2							

OTHER APPARATUS:


Metro Electric Co.  
149 So. 3rd St.  
Mt. Vernon, N.Y.

*Carlton E. Alhead*  
STATE SUPERINTENDENT

149

Per \_\_\_\_\_



  
John W. J. [Redacted]  
Building Inspector, Town of [Redacted]

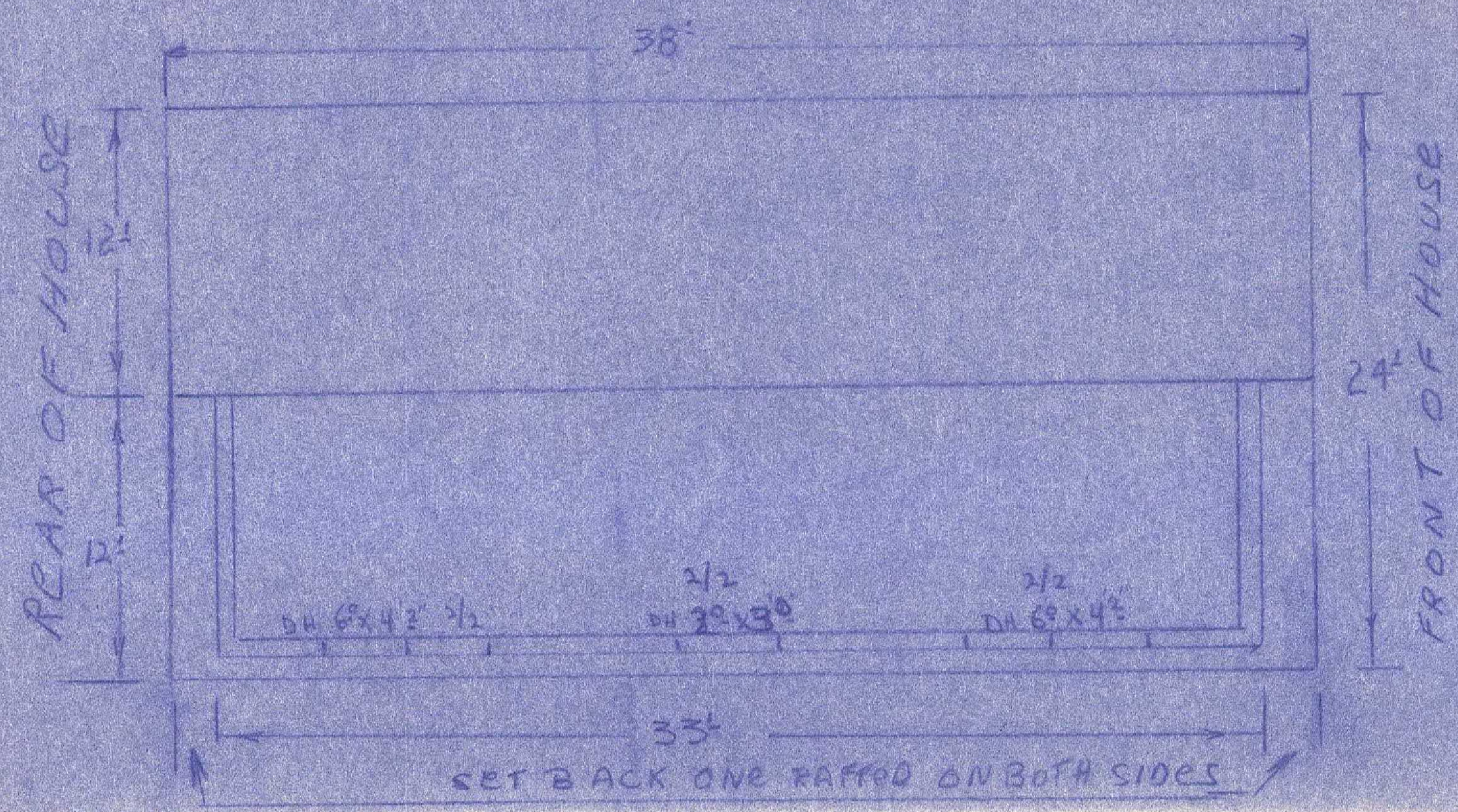
Permit No. 1557

Date June 14, 1968

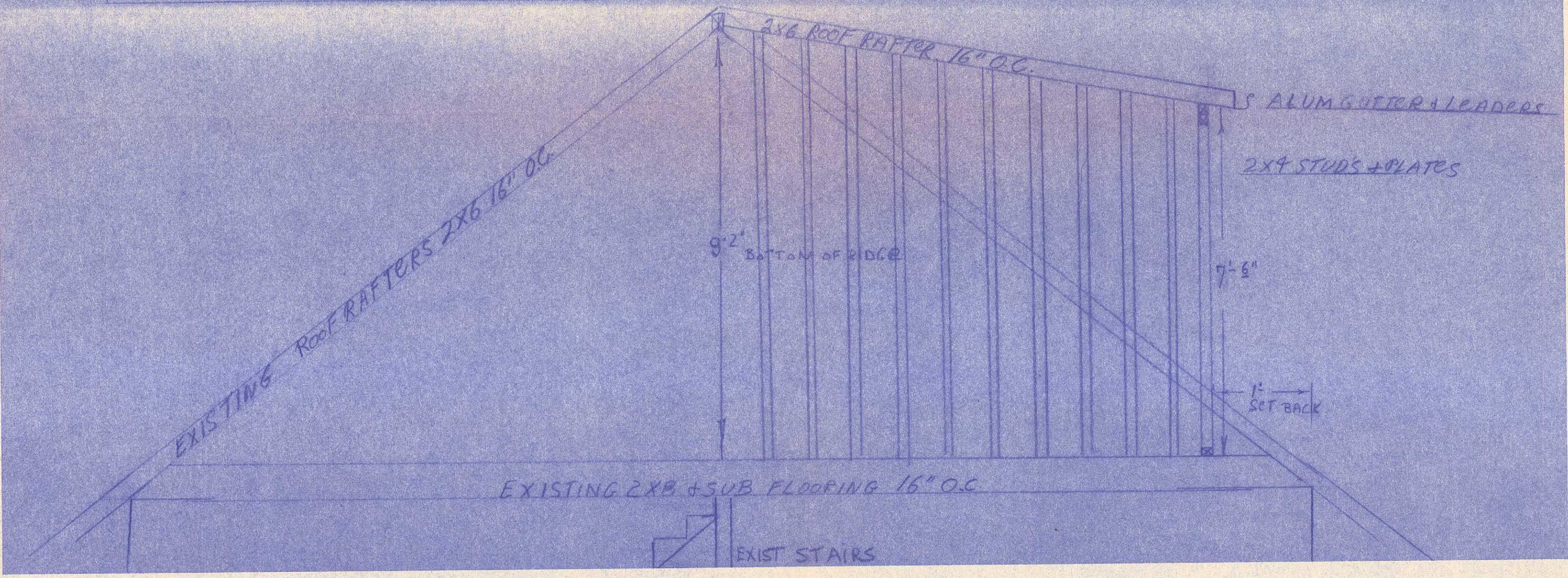
Section 1. Block 12A Lot(s) 43



PHILIP GARSON  
 8 PHYLLIS PLACE PORT.  
 NEW YORK



PROPOSED DORMER SHELL  
 2x6 ROOF RAFTERS 16" O.C.  
 1/2" PLY SCORED SHEATHING  
 235 LBS STRIPS HINGLES WHITE  
 2x4 STUDS & PLATES 16" O.C.  
 ALUM. SIDING WHITE G+L MILL  
 DH 2 1/2 2-6"x4" 1-2"x3"  
 2-2x8" HEADERS OVER WDS JACK STUDS  
 ALL WORK SHALL COMPLY WITH NYS BLDG CODES  
 & RULES OF TOWN OF RYE BLDG DEPT.





DEPARTMENT OF BUILDINGS  
OF THE  
TOWN OF RYE  
10 PEARL STREET, PORT CHESTER, N. Y.

Job 317

**PERMIT TO OCCUPY**

No. 124

**This is to Certify** That Burns Const. Co. Inc.

having complied with the Zoning Ordinance, and having paid the required fee, is hereby granted permission to occupy the building erected in Section 1, Block 12A, Lot 43, as

shown on the Town Tax Maps Phyllis Place { Street } in accordance with  
Avenue }

Permit No. 123

Dated, Town of Rye, N. Y. Sept 27 19 50

James H. Smith  
(Inspector of Buildings of the Town of Rye)

Fee \$ 2.50

 THIS PERMIT MUST BE KEPT ON PREMISES WHILE CONSTRUCTION IS UNDER WAY

DEPARTMENT OF BUILDINGS

Town of Rye

10 PEARL STREET, PORT CHESTER, N. Y.

**PERMIT TO BUILD**

NO. 133

This is to Certify That Berne Construction Co., Inc.

has permission to erect dwelling

Section 1 Block 12A Lot 43 Map of Rye Brook

Street or Avenue Phyllis Place

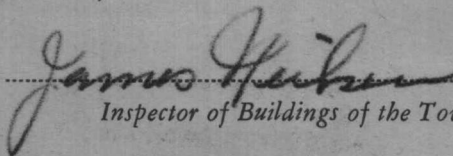
in accordance with application No. 133 and the drawings and statements on file in this office, and subject to the provisions of all State Laws, by-laws and ordinances of the Town of Rye, and rules, regulations and orders of any board, body or department, so far as the same may be pertinent.

The right is reserved to examine the premises as often as may be necessary while the work is in progress, and to order any change in the construction that may be deemed requisite to insure sufficient strength, solidity and safety.

Dated, Town of Rye, N. Y., April 24, 19 50

Value \$ 7300.00

Fee \$ 10.00

  
Inspector of Buildings of the Town of Rye, N. Y.

IF THE BUILDING IS TO BE OCCUPIED AS AN APARTMENT, TENEMENT OR LODGING HOUSE, give following particulars:

State how many families are to occupy each floor, and the whole number of families in the house; also if any part is to be used as a store, or for any other business purpose, state the fact.

What will be the height of the ceilings? First floor.....feet; Second floor.....feet; Third floor.....feet; Fourth floor.....feet.

How are the hall partitions to be constructed, and of what materials?

Of what materials will stairways be constructed?

Of what materials will elevator or dumb-waiter shafts be constructed?

Dated, Port Chester, N. Y.,....., 19.....

Signature of Applicant.....

Address.....

COMPENSATION

NAME OF COMPANY *State Insurance Fund*

NO. OF POLICY *4210774*

DATE OF EXPIRATION *Oct. 1950*

DEPARTMENT OF BUILDINGS  
TOWN OF RYE, N. Y.

No. 133

Application for Permit to Build

Owner.....

LOCATION

Street Phyllis Place

Sec. 1 Block 12A Lot 43

Map of Rye Brook

PERMIT GRANTED

Apr 24 19 50

*James Heiber*  
Inspector of Buildings

Value, \$ 7300.00 Fee, \$ 10.00





DEPARTMENT OF BUILDINGS  
TOWN OF RYE

Application For Permit To Build

10

Job #317  
RT 2

To the INSPECTOR OF BUILDINGS:

Application is hereby made to the Inspector of Buildings of the Town of Rye for the approval of the detailed statement of the specifications and plans herewith submitted, for the erection of the building herein described, and for a permit to erect such building.

It is agreed that if such permission be granted, such building will be constructed in conformity with this application, and the plans and specifications thereof, as approved, and that all State laws, by-laws and ordinances of the Town of Rye, and rules, regulations and orders of any board, body or department, so far as the same may be pertinent, will be complied with.

The applicant further agrees to furnish any additional information, plans or statements, if required by the Inspector of Buildings. All plumbing and electrical work to be installed by licensed contractor.

1. What is the owner's name and address? Jemo Realty, Inc. 34 Broad St. Port Chester, N.Y.
2. What is the architect's name and address, I. Berne 34 Broad St. Port Chester, N.Y.
3. What is the builder's name and address? Berne Construction Co., Inc. Port Chester, N.Y.
4. What is the house number? 8 Street Phyllis Place  
Avenue
5. Section I Block 12A Lot 43
6. State how many buildings are to be erected. One
7. Number of stories in height 1 1/2
8. Size of lot: Front 110'; rear 110'; Depth 100' 38" 11 3/8"
9. Size of Building: Number of feet front 25' 7 3/8"; Number of feet rear 25' 7 3/8"; Number of feet deep 19' 8"  
Number of feet in height from grade level or surface of ground to highest point of roof beam.
10. What is the estimated cost of the improvement, exclusive of the lot? \$7,300.
11. What is the purpose of the building? Dwelling  
If a dwelling, for how many families? one
12. Will there be a store in the lower story? no Nature of business to be conducted x
13. Materials of foundation concrete block; Thickness of foundation 8"  
Stone or concrete base? concrete; Size and Thickness 8" x 16"
14. Thickness of party walls? To first floor level x; First story x; Second story x  
Third story x; Fourth story x Of what material constructed x With what material coped x
15. Will roof be flat, peaked or mansard? peaked; State material or roofing 210 lb. asphalt
16. Give size, spacing and material of floor and roof beams. First floor concrete x on xxxx Second floor 2 x 8 of Douglas Fir on centers; 16"
17. Give size and spacing of roof rafters 2 x 6 of Douglas Fir 16" on centers
18. How is the building to be heated? Gas - hot water coils in slab
19. Will the building be wired for electric lighting or power? Yes
20. Cubical contents 12,200 cu. ft.

State of New York, }  
County of Westchester. } ss.:

Louis P. Palasco

....., being duly sworn, says that he is the  
..... applicant above named; that he has read the foregoing application and knows the contents thereof, and that the statements therein contained are true of his own knowledge.

Subscribed and sworn to before me this

19 day of April, 19 50  
Muriel R. Knickerbocker  
Notary Public.

Louis P. Palasco

MURIEL R. KNICKERBOCKER  
Notary Public, State of New York  
Appointed for Westchester County  
Commission expires March 30, 1951

NOTE

In making application for permit to build, two (2) full and complete tracings in India ink or Blue Prints of the plans thereof, drawn to a uniform scale, and a detailed statement of the specifications must accompany the application.

Two (2) plot plans must also be filed with the plans showing location of proposed building or buildings on lot scale to be 1-16 in. to 1 ft.



WESTCHESTER COUNTY DEPARTMENT OF HEALTH

William A. Holla, M. D., Commissioner

White Plains, N. Y.

PERMIT TO PROVIDE A SEWAGE DISPOSAL SYSTEM

Application having been duly made to the County Commissioner of Health as required by Article II of the Sanitary Code of the Westchester County Health District, permission is hereby given to Berne Construction Co., Inc., 34 Broad Street, Port Chester, New York for the construction or provision of a sewage disposal system consisting of a 600 gallon masonry septic tank and 48 linear feet of 30 inches wide absorption trench to serve one dwelling owned by Jenco Realty, Inc., Section 1, Block 12A, Lot 43, 8 Phyllis Place, (Subdiv.) Rye Brook, Town of Rye, New York, (maximum occupancy - 4 persons) subject to the following conditions:

I. That this department shall receive due notification and be afforded an opportunity to inspect the system before any portion is backfilled or covered.

II. That this system shall not be used until the written final approval thereof shall have been obtained from the Department of Health.

III. That such sewage disposal system shall be constructed in complete conformity with the application data and plans as approved or with approved amendments thereto. Any changes in this system must be approved.

IV. That such system shall receive only the sewage or wastes from the structures or premises covered by this permit.

V. That such system shall be so maintained and operated as not to expose sewage or sludge, or create a condition of nuisance.

VI. That this permit shall not be construed to invalidate any rule or regulation enforceable by any local authority having jurisdiction.

VII. That all duly enacted rules and regulations for the protection of water supplies shall be complied with.

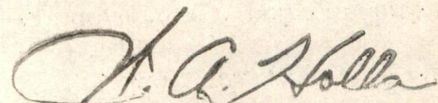
VIII. That a connection to the public sewer shall be made as soon as such is available.

IX. That whenever it is determined by the Commissioner of Health that additional or more adequate sewage disposal facilities are necessary, such facilities shall be provided, plans for which shall first be submitted to and receive the approval of the Department of Health.

X. That whenever the sludge and scum shall so accumulate in any settling tank as to occupy together at any point more than one-fourth of the distance between the bottom and the flow line, they shall be removed.

XI. That whenever sludge and scum is removed from any settling tank or any part of the system, it shall be done in such a manner as to cause no nuisance and the material disposed of by burial in some remote place at least 250 feet from any house, road, well, spring, stream or other body of water, and covered with not less than 6 inches of earth in such a manner that it will not flow or be washed by rain or melted snow or other means over the surface of the ground or into any well, stream, spring or other body of water.

XII. That this permit shall be revocable at any time or subject to modification or change when in the judgment of the Commissioner of Health such revocation, modification or change shall become necessary.



COMMISSIONER

Date: June 9, 1950

HMG:tf

THE OWNER OR HIS AGENT MUST RECEIVE THIS PERMIT OR A COPY THEREOF

cc: O. B. Hallengren, Plumbing Inspector



Berne Construction Co., Inc.  
36 Broad Street  
Port Chester, N. Y.

DESIGNATIONS ON MODELS  
RS - RSC - RT - RRC - RTR  
RTR - RTR

EXCAVATION - Min. 3' 6" below finished grade  
FOOTING - Poured concrete 1-2-5 mix  
FOUNDATION - Concrete block 8' x 8' x 18"  
SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish  
EXTERIOR WALLS:  
Studs 2" x 4" - 16" o.c.  
Fir - Grade Marked  
Sheathing - 1/2" Gypsum  
Exterior - Asbestos Shingles, Johns Mansville or equal  
Flashing - Metal  
PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.  
CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.  
ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.  
Collar Beams - Fir - Grade Marked - 2" x 4" - 4'  
ROOFING:  
Sheathing: 1 x 6 or 1 x 8 - solid  
Shingles: 210 lb. asphalt - Johns Mansville or equal  
Flashing: Metal  
INTERIOR WALLS - Sheetrock 1/2"  
INTERIOR TRIM:  
Doors - Wood - Flush 1 3/8"  
Door Trim - Metal  
Base - Wood - Narrow line  
WINDOWS - Wood - 1 5/8" - casement  
Trim - Narrow line  
ENTRANCE DOORS - Front - Wood - Flush 1 3/4"  
Rear - Wood - 3 - Light - 1 3/4"  
Frames - Wood  
FLOORS - Entire 1st Floor - 1/8" asphalt tile  
PLUMBING - Kitchen sink - Briggs #7021 or equal  
Lavatory " #32210 " "  
Water Closet " #2115 " "  
Bathtub " #200-1 " "  
HOT WATER HEATER - Rheem #21 or equal 30 Gal.  
HEATING UNIT - Hydrotherm #2H15 - 100,000 B.T.U. input  
with 1/2" and 3/4" copper coils in slab  
INSULATION - Ceilings - 4" Rockwool  
Sidewalls - 2" Rockwool  
PORCHES (where erected) - Foundations, Framing Roof, and  
floor same as main building.  
Columns - Lally or equal  
GARAGES - (where erected) Foundations, Framing Roof, and  
floor same as main building.  
DOOR - Overhead wood or metal  
Finish - interior - sheetrock  
ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk  
1x6 or 1x8 n.c. covered entire  
CHIMNEYS - Brick - Flue 3 x 12

SPECIFICATIONS ON MODELS  
RS - RSQ - RE - REQ - RTT  
RTP - RTR

EXCAVATION - Min. 3' 6" below finished grade  
FOOTING - Poured concrete 1-2-5 mix  
FOUNDATION - Concrete block 6' x 8" x 18"  
SUB FLOOR - Concrete 4" 1-2-5 mix --- trowel finish  
EXTERIOR WALLS:  
Studs 2" x 4" - 16" o.c.  
Fir - Grade Marked  
Sheathing -  $\frac{1}{2}$ " Gypsum  
Exterior - Asbestos Shingles, Johns Mansville or equal  
Flashing - Metal  
PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.  
CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.  
ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.  
Cellar Beams - Fir - Grade Marked - 2" x 4" - 4'  
ROOFING:  
Sheathing: 1 x 6 or 1 x 8 - solid  
Shingles: 210 lb. asphalt - Johns Mansville or equal  
Flashing: Metal  
INTERIOR WALLS - Sheetrock  $\frac{1}{2}$ "  
INTERIOR TRIM:  
Doors - Wood - Flush 1 3/8"  
Door Trim - Metal  
Base - Wood - Narrow line  
WINDOWS - Wood - 1 5/8" - casement  
Trim - Narrow line  
ENTRANCE DOORS - Front - Wood - Flush 1 3/4"  
Rear - Wood - 3 - Light - 1 3/4"  
Frames - Wood  
FLOORS - Entire 1st Floor - 1/8" asphalt tile  
PLUMBING - Kitchen sink - Briggs #7021 or equal  
Lavatory - " #32210 " "  
Water Closet " #2115 " "  
Bathtub " 2300-1 " "  
HOT WATER HEATER - Rheem #81 or equal 30 Gal.  
HEATING UNIT - Hydromera #2H15 - 100,000 B.T.U. input  
with  $\frac{1}{2}$ " and 3/4" copper coils in slab  
INSULATION - Ceilings - 4" Rockwool  
Sidewalls - 2" Rockwool  
PORCHES (where erected) - Foundations, Framing Roof, and  
floor same as main building.  
Columns - Gally or equal  
GARAGES - (where erected) Foundations, Framing Roof, and  
floor same as main building.  
DOOR - Overhead wood or metal  
Finish - interior - sheetrock  
ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk  
1x6 or 1x8 n.c. covered entire  
CHIMNEYS - Brick - Five 8 x 12

Berne Construction Co., Inc.  
36 Broad Street  
Port Chester, N. Y.



SPECIFICATIONS ON MODELS  
RS - RSS - RT - RRS - RTT  
RTM - RDM

EXCAVATION - Min. 3' 6" below finished grade

FOOTING - Poured concrete 1-2-5 mix

FOUNDATION - Concrete block 8' x 8" x 18"

SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing -  $\frac{1}{2}$ " Gypsum

Exterior - Asbestos Shingles, Johns Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.

CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 4"

ROOMING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 210 lb. asphalt - Johns Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock  $\frac{1}{2}$ "

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st Floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathub - " #2300-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydronema #2H75 - 100,000 B.T.U. input

with  $\frac{1}{2}$ " and 3/4" copper coils in slab

INSULATION - Ceilings - 4" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Five 3 x 12

Berne Construction Co., Inc.,  
36 Broad Street  
Port Chester, N. Y.

SPECIFICATIONS ON MODELS  
RS - RSQ - RT - RTQ - RTT  
RTH - RDT

EXCAVATION - Min. 3' 6" below finished grade

FOOTING - Poured concrete 1-2-5 mix

FOUNDATION - Concrete block 8' x 8' x 18"

SUB-FLOOR - Concrete 4" 1-2-5 mix ---- trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing -  $\frac{1}{2}$ " Gypsum

Exterior - Asbestos Shingles, Johns Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2 x 4 - 16" o.c.

CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 16"

ROOFING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 210 lb. asphalt - Johns Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock  $\frac{1}{2}$ "

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" - casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathub - " 2200-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydronema #2H15 - 100,000 B.T.U. input

with  $\frac{3}{8}$ " and  $\frac{3}{4}$ " copper coils in slab

INSULATION - Ceilings - 4" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Five 8 x 12

Berne Construction Co., Inc.  
36 Broad Street  
Port Chester, N. Y.



SECTION ON  
RS - 250  
RIP - 200

EXCAVATION - Min. 3' 0" below finished grade  
FOOTING - Poured concrete 1-2-4 mix  
FOUNDATION - Concrete block 8' 0" x 8' 0" x 18"  
SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing - 1/2" Gypsum

Exterior - Asbestos Shingles, Joms Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2" x 4" - 16" o.c.

CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 4'

ROOFING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 270 lb. asphalt - Joms Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock 1/2"

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" - casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st Floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathub - " #200-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydromera #2H15 - 100,000 B.T.U. input

with 3/4" and 3/4" copper coils in slab

INSULATION - Ceilings - 2" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and

floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and

floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Five 3 x 12

Berne Construction Co., Inc.  
36 Broad Street  
Port Chester, N. Y.

SECTION TITLES ON PANELS  
RS - RSQ - RT - RTQ - RTT  
RTH - RDL

EXCAVATION - Min. 3' 6" below finished grade

FOOTING - Poured concrete 1-2-5 mix

FOUNDATION - Concrete block 6" x 8" x 18"

SUB FLOOR - Concrete 4" 1-2-5 mix trowel finish

EXTERIOR WALLS:

Studs 2" x 4" - 16" o.c.

Fir - Grade Marked

Sheathing -  $\frac{1}{2}$ " Gypsum

Exterior - Asbestos Shingles, Johns Mansville or equal

Flashing - Metal

PARTITION FRAMING - Fir - Grade Marked - 2" x 4" - 16" o.c.

CEILING FRAMING - Fir - Grade Marked - 2" x 8" - 16" o.c.

ROOF FRAMING - Rafters - Fir - Grade Marked - 2" x 6" - 16" o.c.

Collar Beams - Fir - Grade Marked - 2" x 4" - 16"

ROOMING:

Sheathing: 1 x 6 or 1 x 8 - solid

Shingles: 270 lbs asphalt - Johns Mansville or equal

Flashing: Metal

INTERIOR WALLS - Sheetrock  $\frac{1}{2}$ "

INTERIOR TRIM:

Doors - Wood - Flush 1 3/8"

Door Trim - Metal

Base - Wood - Narrow line

WINDOWS - Wood - 1 5/8" - casement

Trim - Narrow line

ENTRANCE DOORS - Front - Wood - Flush 1 3/4"

Rear - Wood - 3 - Light - 1 3/4"

Frames - Wood

FLOORS - Entire 1st floor - 1/8" asphalt tile

PLUMBING - Kitchen sink - Briggs #7021 or equal

Lavatory - " #32210 " "

Water Closet - " #2115 " "

Bathtub - " #2000-1 " "

HOT WATER HEATER - Rheem #21 or equal 30 Gal.

HEATING UNIT - Hydromera #2H15 - 100,000 B.T.U. input

with  $\frac{1}{2}$ " and 3/4" copper coils in slab

INSULATION - Ceiling - 4" Rockwool

Sidewalls - 2" Rockwool

PORCHES (where erected) - Foundations, Framing Roof, and floor same as main building.

Columns - Gally or equal

GARAGES - (where erected) Foundations, Framing Roof, and floor same as main building.

DOOR - Overhead wood or metal

Finish - interior - sheetrock

ATTIC FLOORS - 1x6 or 1x8 n.c. catwalk

1x6 or 1x8 n.c. covered entire

CHIMNEYS - Brick - Blue 8 x 12

Berne Construction Co., Inc.  
36 Broad Street  
Port Chester, N. Y.

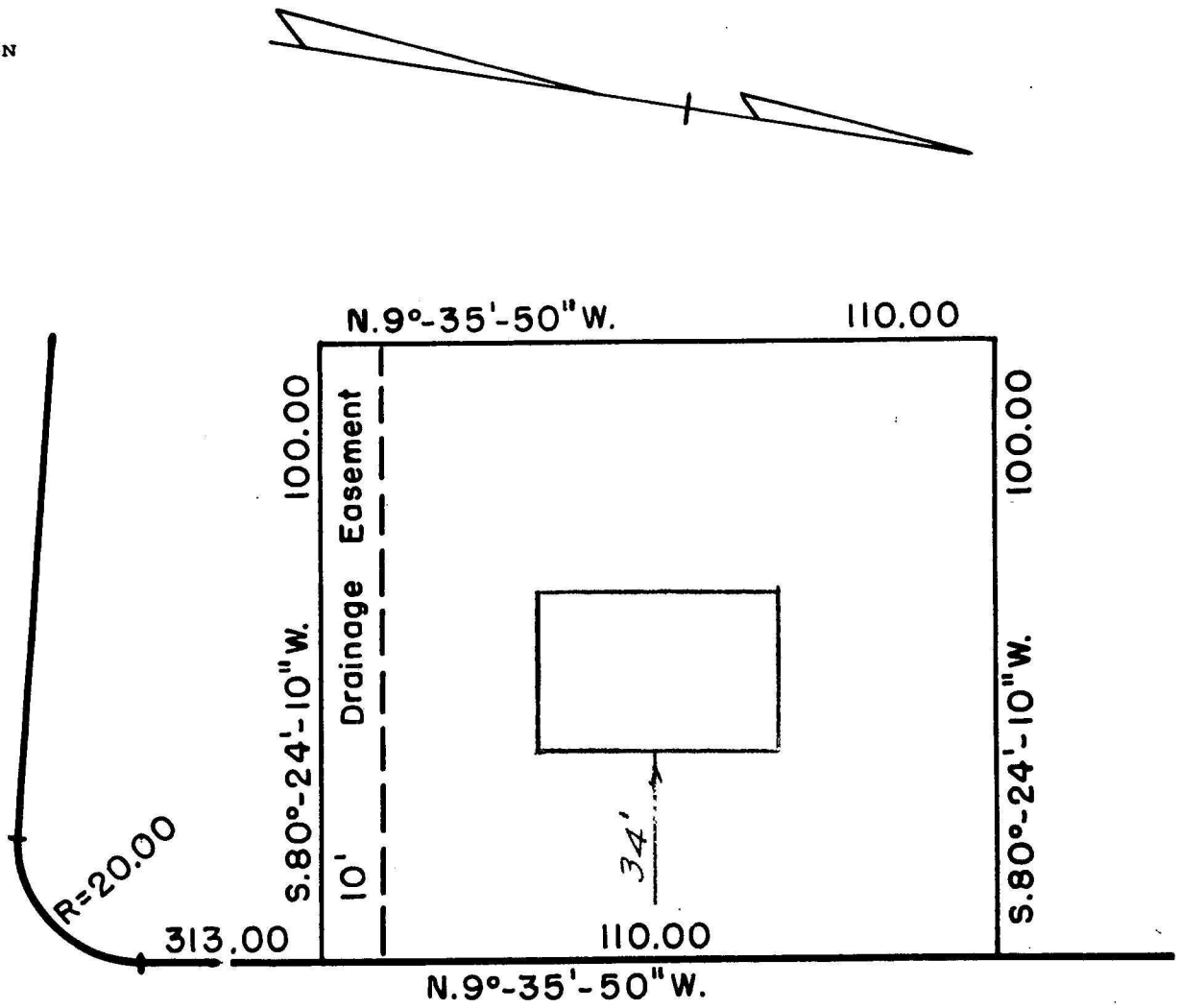


133

HOUSE NO. 317

- FOUNDATION
- UNDER CONSTRUCTION
- COMPLETED

SUNSET ROAD



PHYLLIS

PLACE

SURVEY OF LOT 43  
 MAP OF RYE BROOK  
 TOWN OF RYE

WESTCHESTER CO., NEW YORK

SCALE: 1" = 30' R. O. 7004

CERTIFIED TO THE  
 INTER-COUNTY TITLE GUARANTY AND MORTGAGE COMPANY

JOHN M. FARLEY & CO., Inc.  
 White Plains, N. Y.  
 Civil Engineers & Surveyors

Civil Engineer & Surveyor Note:  
 N. Y. State License No. 11907 Possession Only as Shown

49331-43



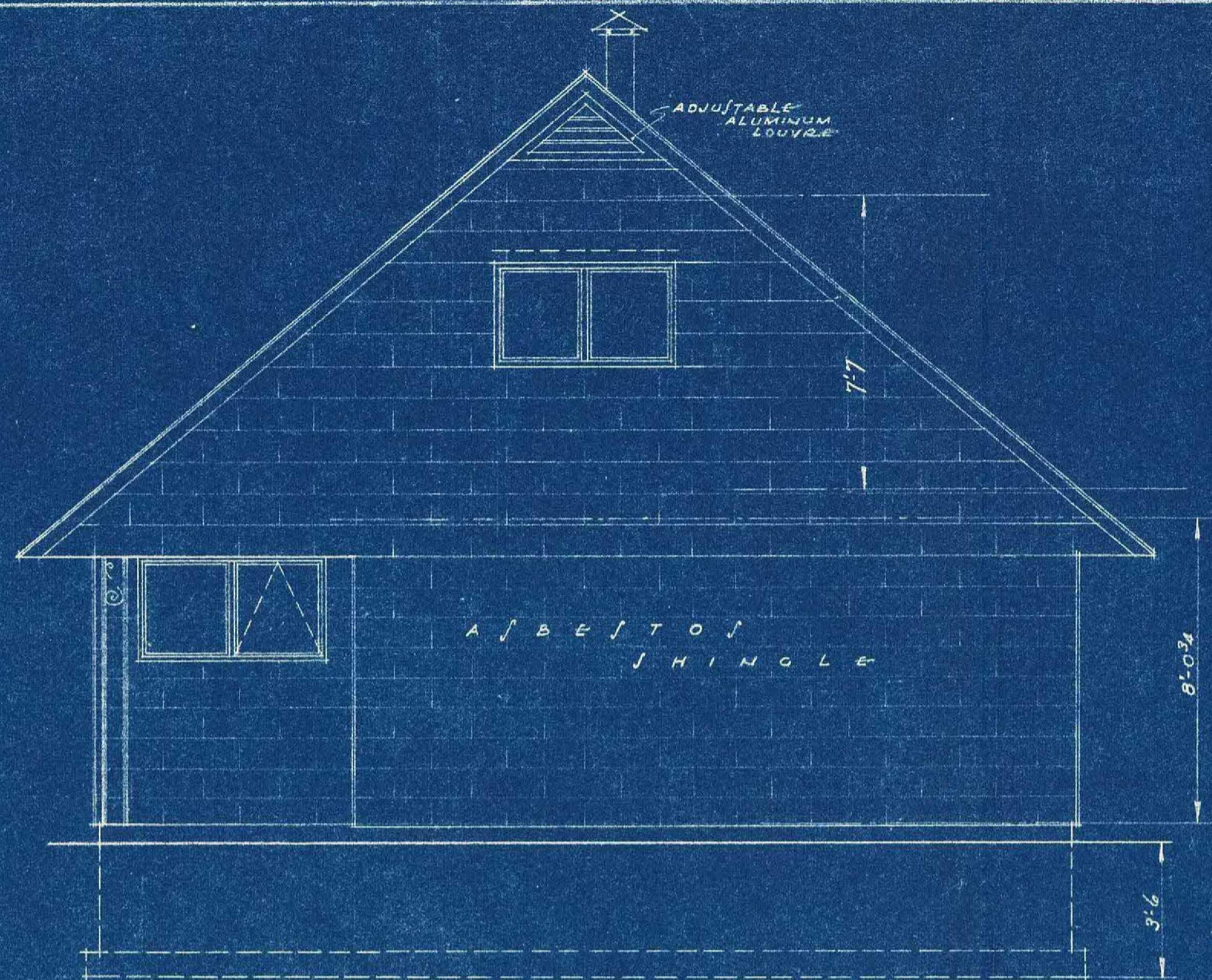
133

Approved  
Building Inspector  
Town of Rye  
APR 29 1950  
Dated

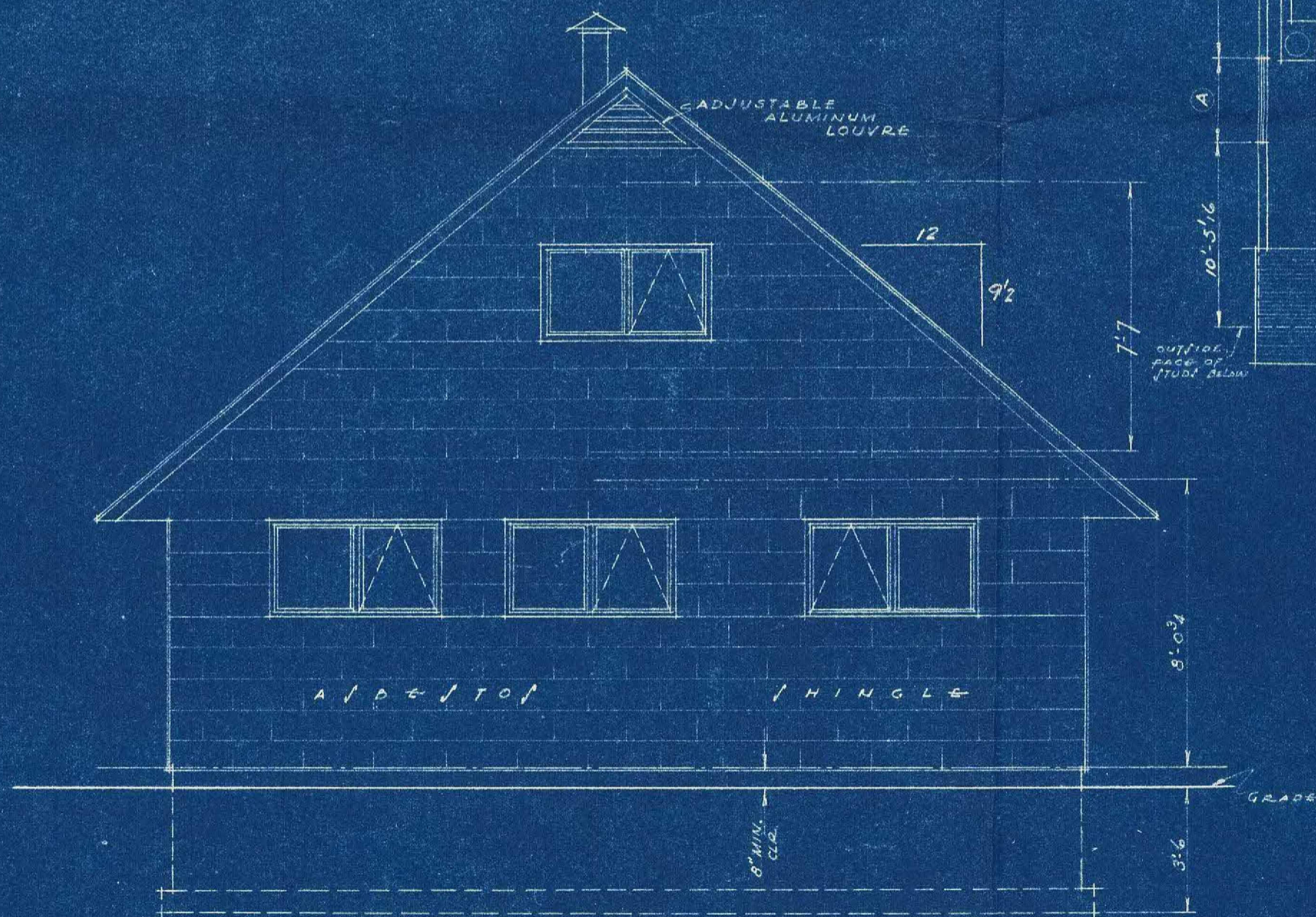
Permit No.	
Sec 1, Block	12A Lot 43
Date Approved	
Bldg. Insp. Village of Rye Brook	

135.65-1-19

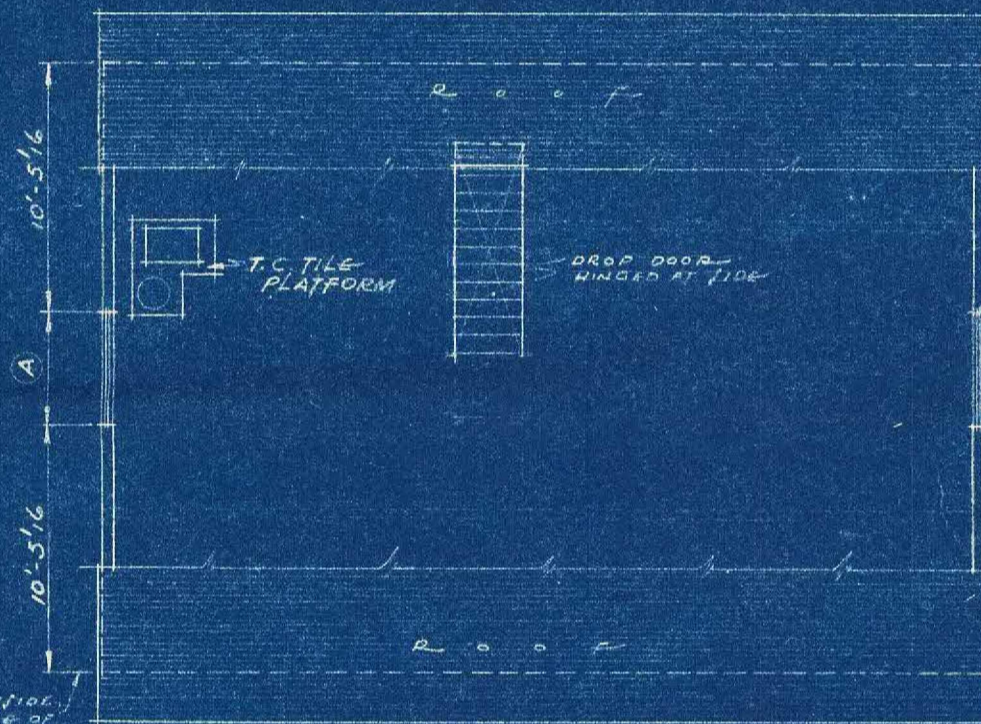




RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



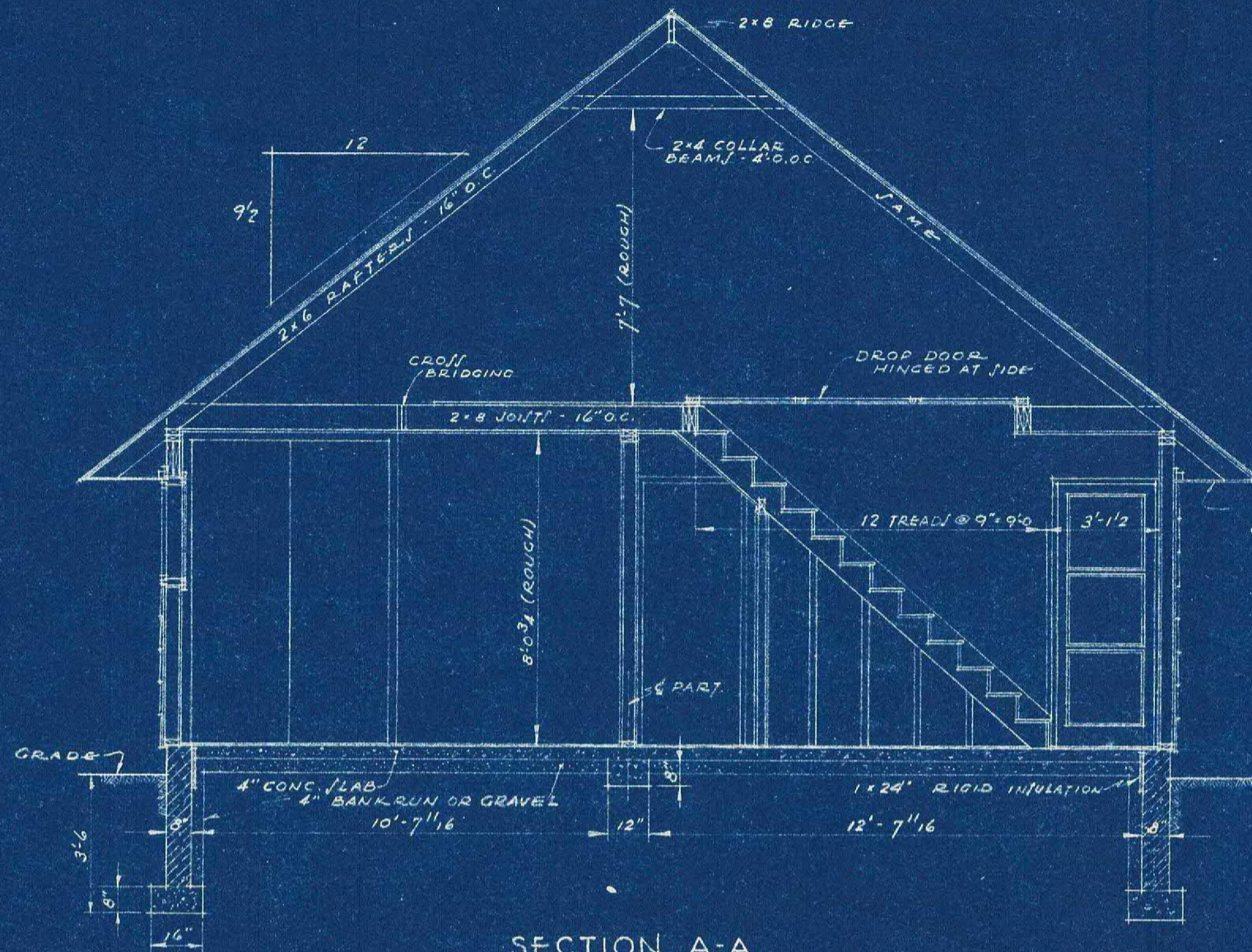
SECOND FLOOR PLAN  
FOR FUTURE DEVELOPMENT  
SCALE: 1/8" = 1'-0"

NOTES:  
ALL DIMENSIONS ARE ROUGH FRAMING  
DIMENSIONS UNLESS NOTED

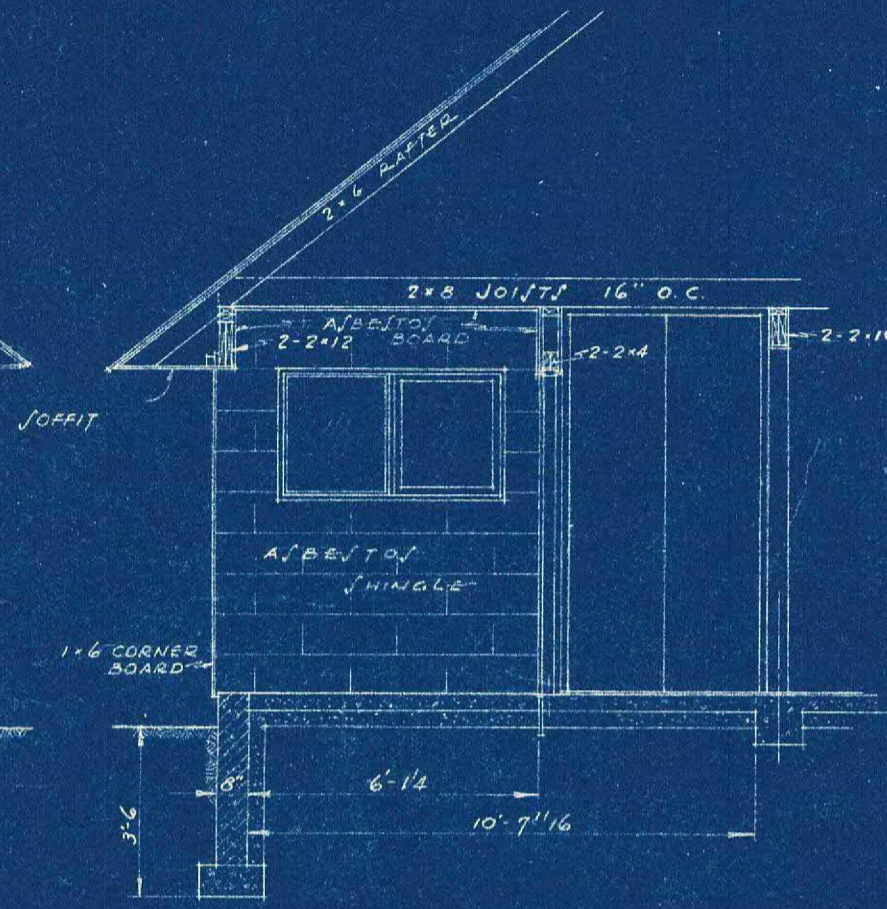
MODEL RT<sup>1</sup>  
SIDE ELEVATIONS & 2<sup>ND</sup> FLOOR PLAN  
SCALE 1/4" = 1'-0" (UNLESS NOTED)  
SHEET 4 OF 5 DATE: FEB. 21, 1950  
REVISED: 3/27

THIS DRAWING IS THE  
PROPERTY OF  
BERNE CONSTRUCTION CO. INC.

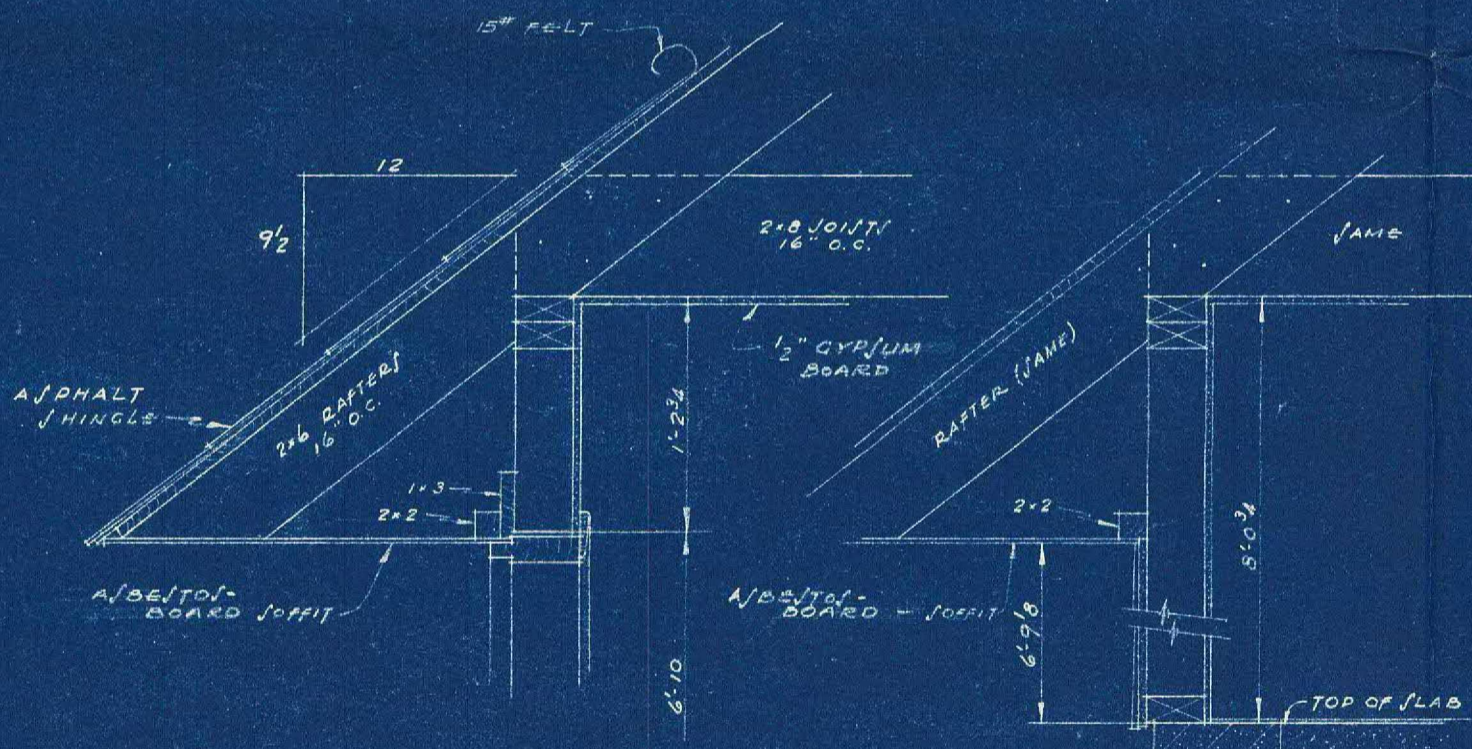




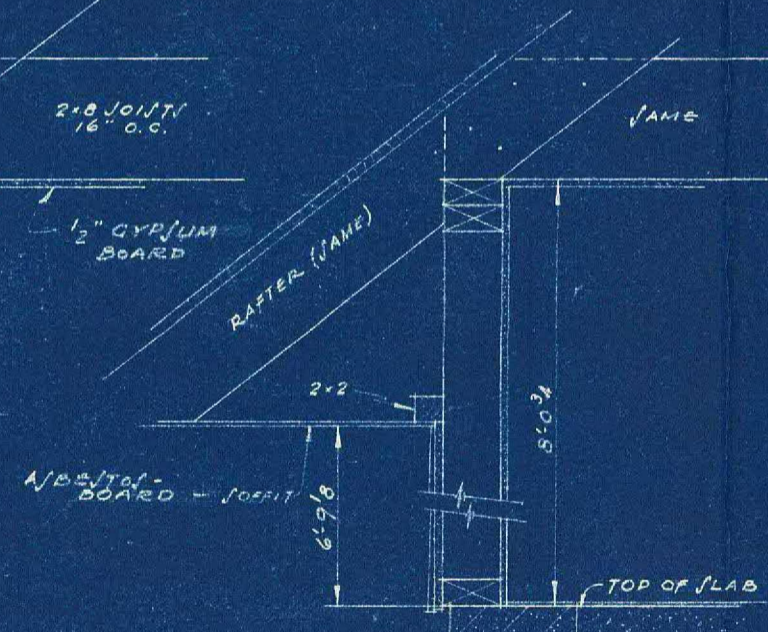
SECTION A-A  
SCALE: 1/4" = 1'-0"



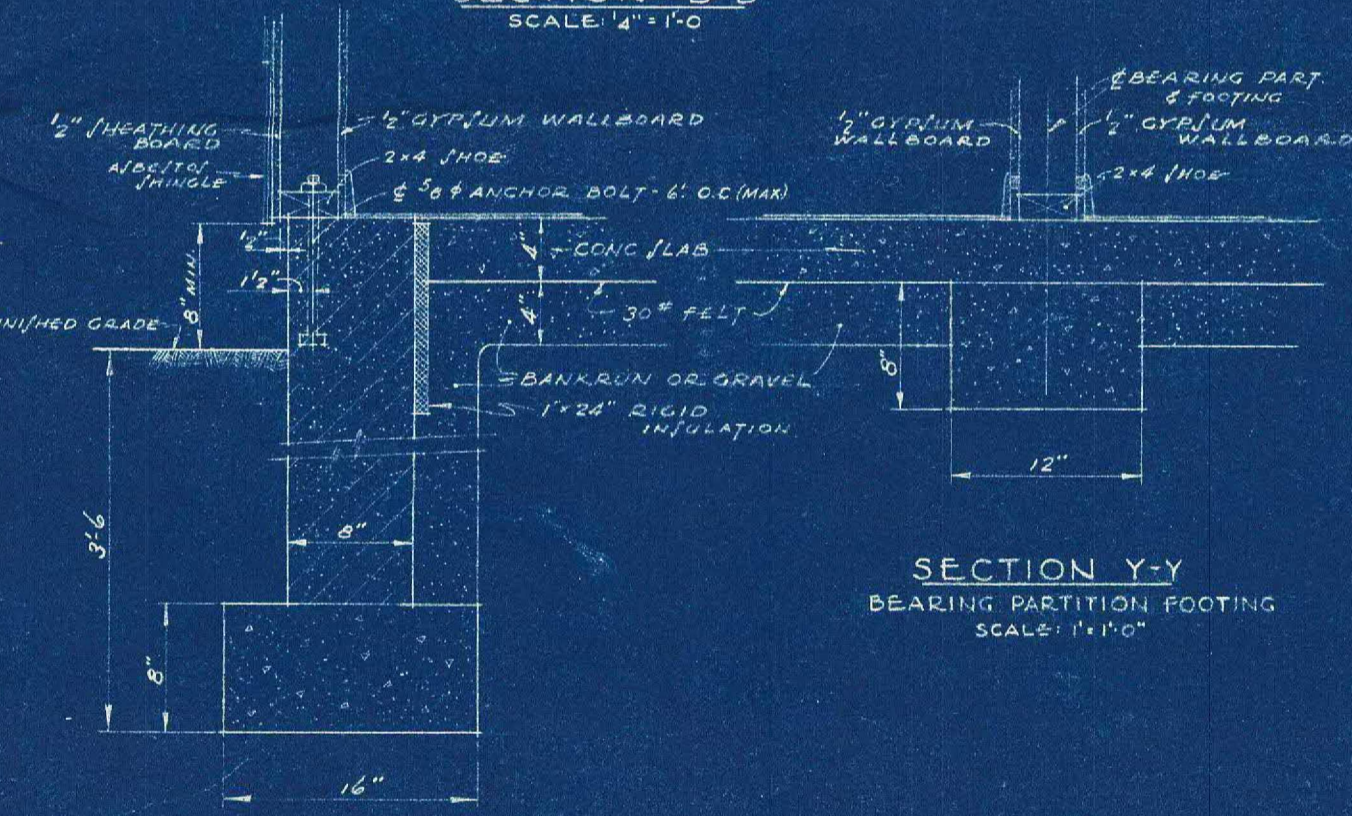
SECTION B-B  
SCALE: 1/4" = 1'-0"



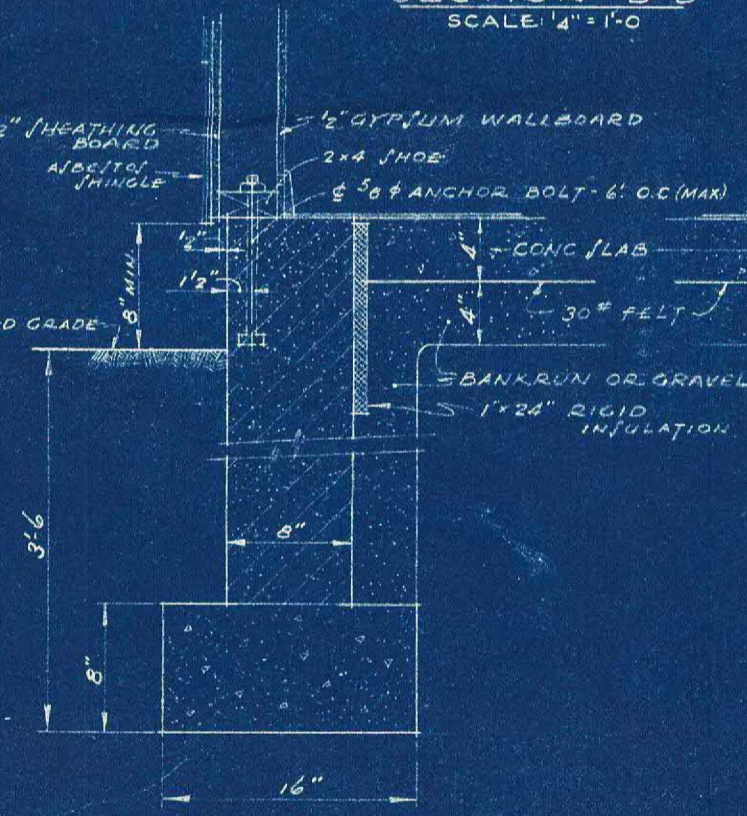
SECTION X-X  
TYPICAL AT WINDOW & DOOR HEADS  
SCALE: 1" = 1'-0"



SECTION W-W  
TYPICAL AT NO OPENING  
SCALE: 1" = 1'-0"



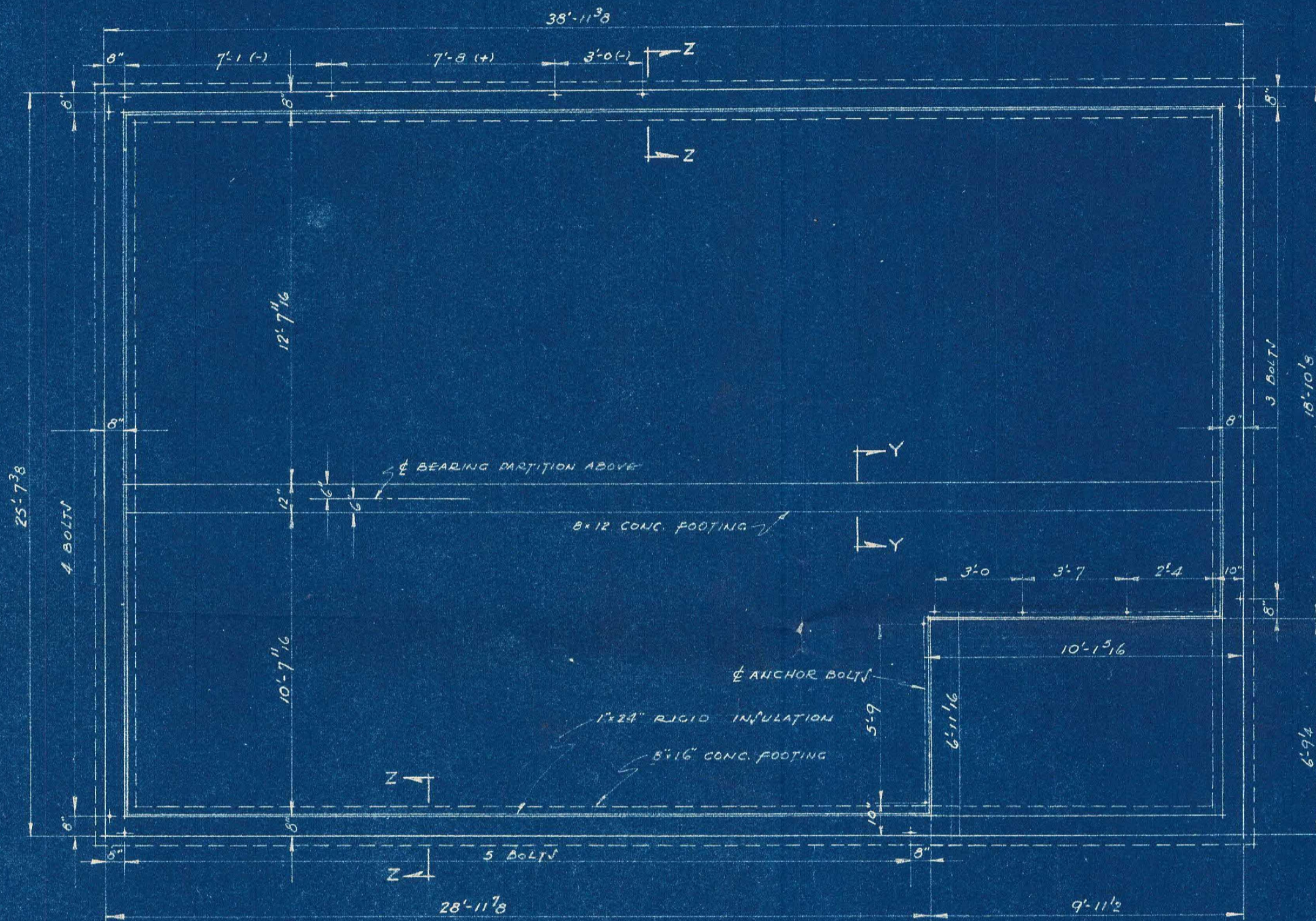
SECTION Y-Y  
BEARING PARTITION FOOTING  
SCALE: 1" = 1'-0"



SECTION Z-Z  
PERIMETER FOOTING  
SCALE: 1" = 1'-0"

**TYPICAL SECTIONS**  
 SECTIONS "A-A, B-B, W-W, X-X, Y-Y, Z-Z"  
 SCALE: AS NOTED  
 SHEET 5 OF 5 DATE: MAR. 17, 1950  
 REVISED:  
 THIS DRAWING IS THE  
 PROPERTY OF  
 BERNE CONSTRUCTION CO., INC.





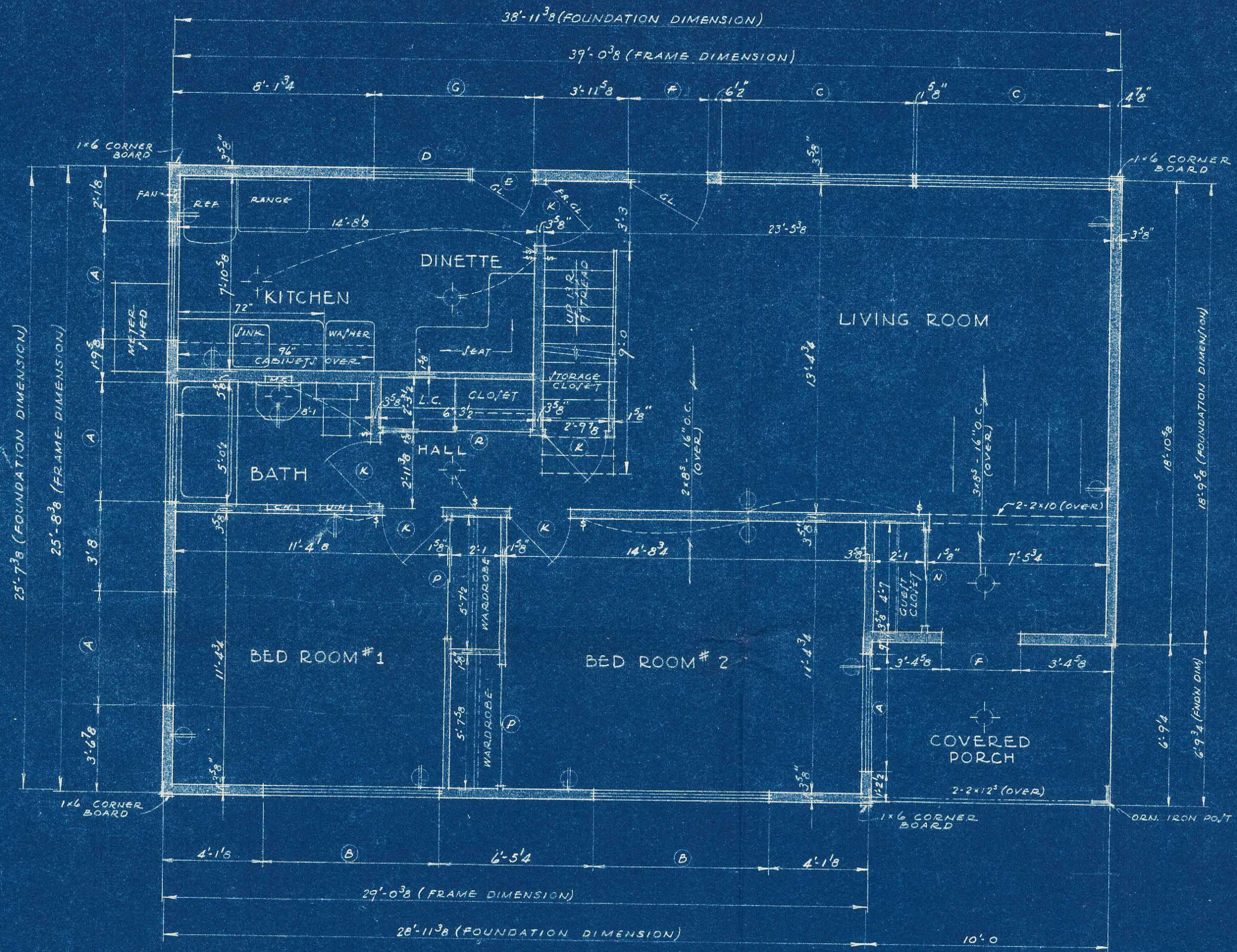
**MODEL RT1**  
**FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"

SHEET 1 OF 5    DATE: FEB. 21, 1950  
 REVISED: 3/27

THIS DRAWING IS THE  
 PROPERTY OF  
**BERNE CONSTRUCTION CO., INC.**

673

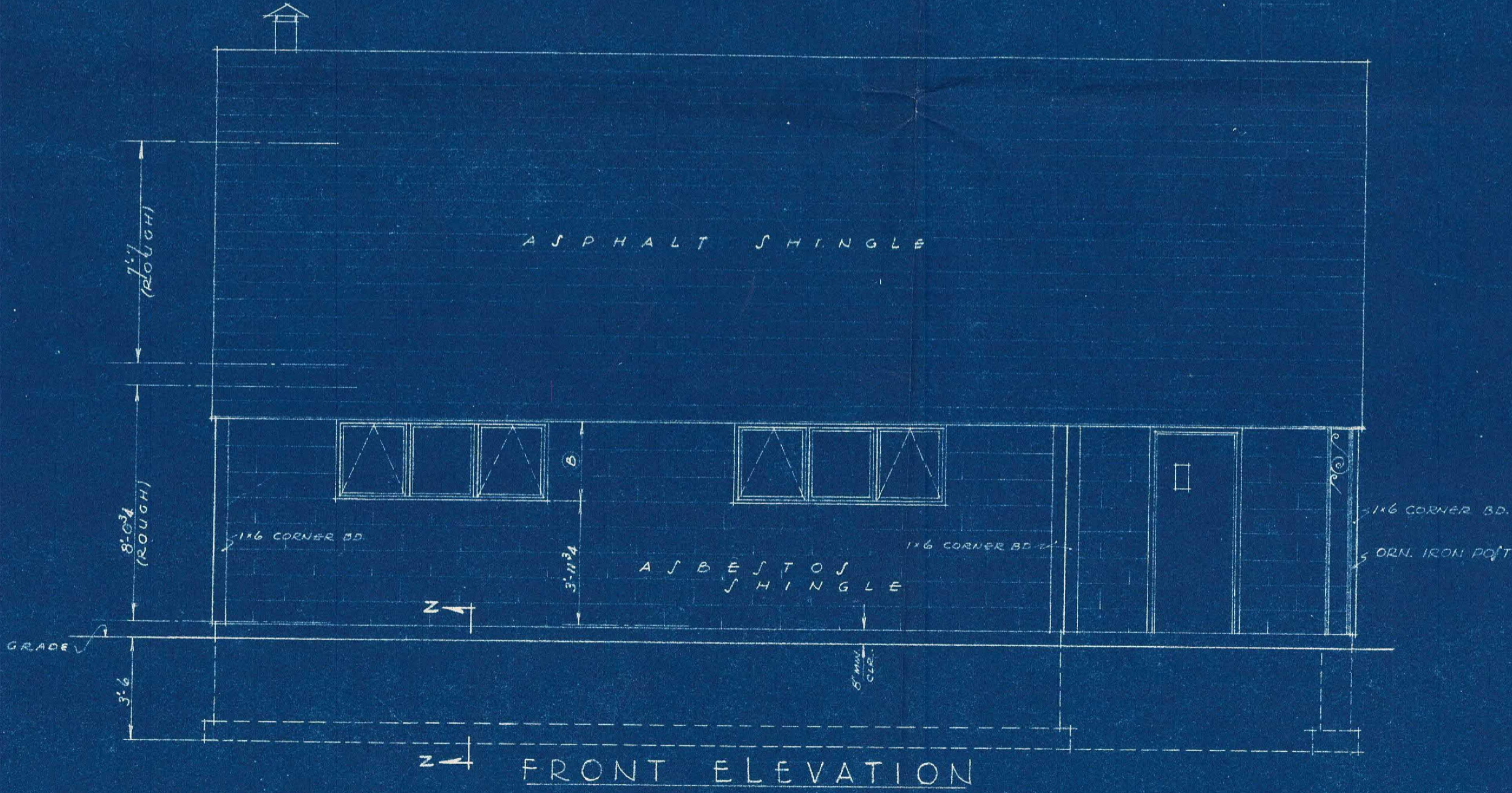
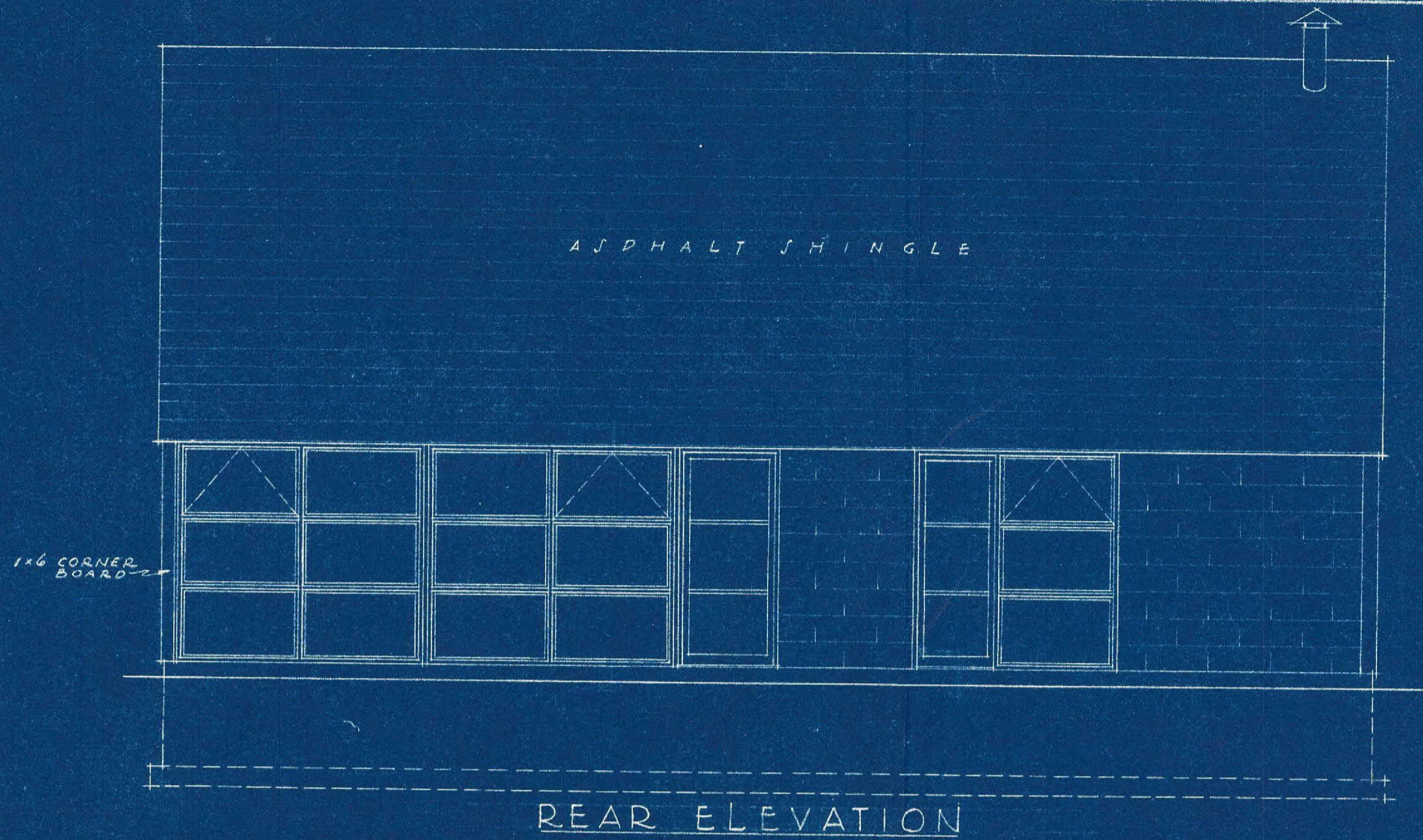




NOTES:  
 ALL DIMENSIONS ARE ROUGH FRAMING DIMENSIONS UNLESS NOTED.

<b>MODEL RT'</b> <b>FIRST FLOOR PLAN</b> SCALE: 1/4" = 1'-0"	
SHEET 2 OF 5 REVISED: 3/27	DATE: FEB. 21, 1950
THIS DRAWING IS THE PROPERTY OF <b>BERNE CONSTRUCTION CO., INC.</b>	





NOTES:  
ALL DIMENSIONS ARE ROUGH FRAMING  
DIMENSIONS UNLESS NOTED.

MODEL RT'  
FRONT & REAR ELEVATIONS  
SCALE 1/4" = 1'-0"  
SHEET 3 OF 5      DATE: FEB. 21, 1950  
REVISED: 3/27

THIS DRAWING IS THE  
PROPERTY OF  
BERNE CONSTRUCTION CO. INC.