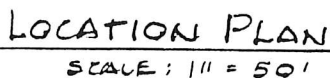


Code Enforcement Office
P. O. BOX 70

JOB NO. 06-1433
SUBJECT: MCGIRATH CONSTR.
LONDON COURT LOT 1
SEEPAGE PIT LOCATION
BY: RER DATE: 8-4-06
CHKD. LRP DATE: 8-7-06
SHEET NO. 1 OF 4



LONDON COURT LOT 1
UPPER MAKEFIELD TWP., PA.



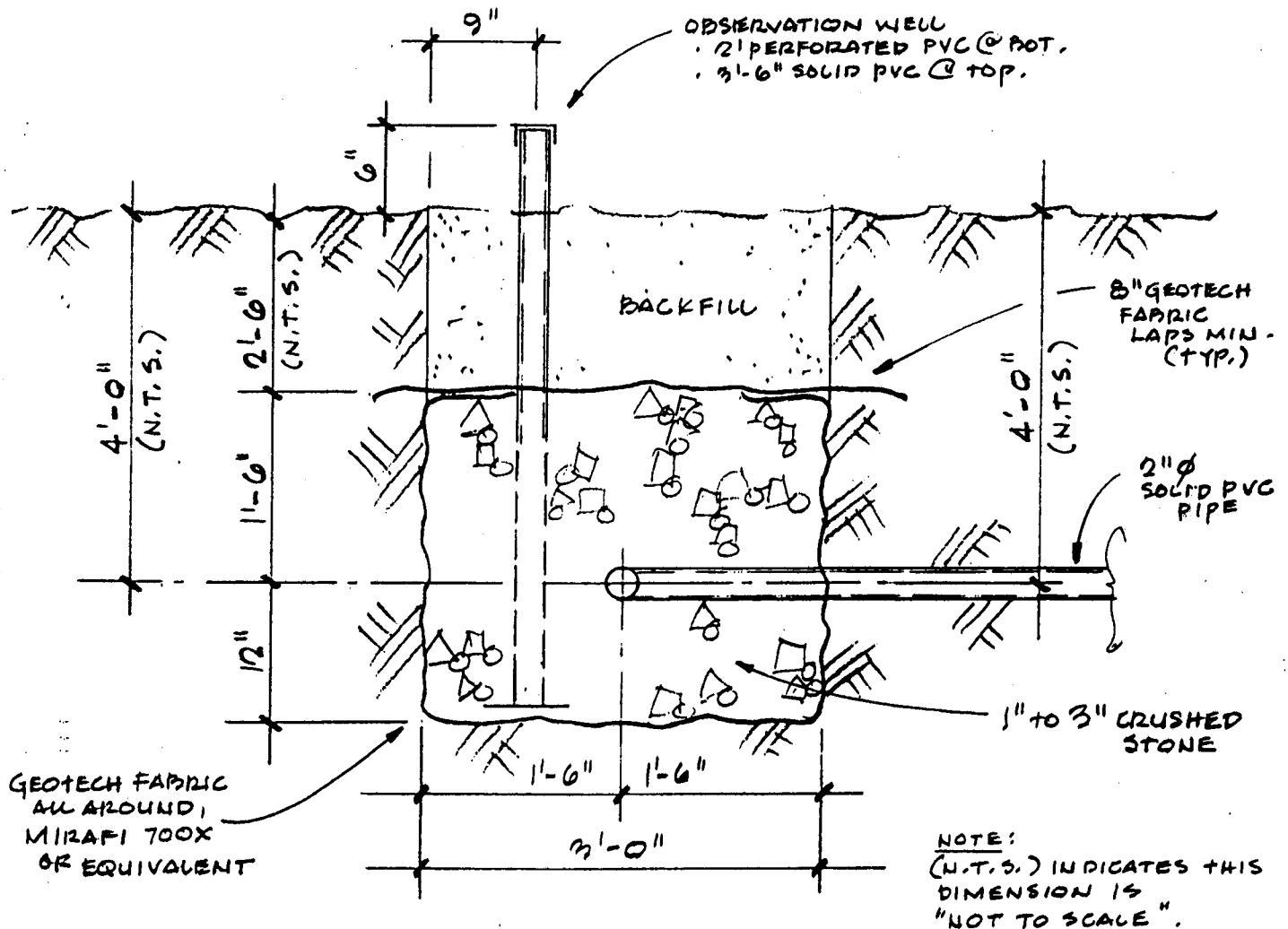
Ronald E. Pettie
TO GHA 8/24/06 UNIT CORN



RITCHIE ENGINEERING
CONSULTING ENGINEERS

2707 HILLTOWN PIKE • P. O. BOX 70
HILLTOWN, PA 18927 • 215-249-1149

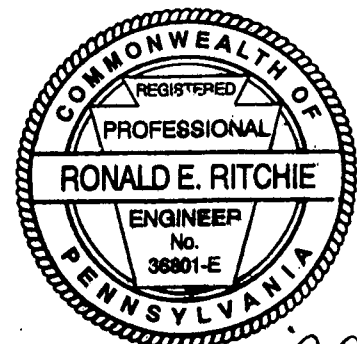
JOB NO. 06-1433
SUBJECT: MCGRATH CONSTR.
LONDON COURT LOT 1
SEEPAGE PIT DETAILS
BY: RER DATE: 8-4-06
CHKD. JRP DATE: 8-7-06
SHEET NO. 2 OF 4



CROSS SECTION

SCALE: $\frac{3}{4}" = 1'-0"$

LONDON COURT LOT 1
UPPER MAKEFIELD TWP., PA.

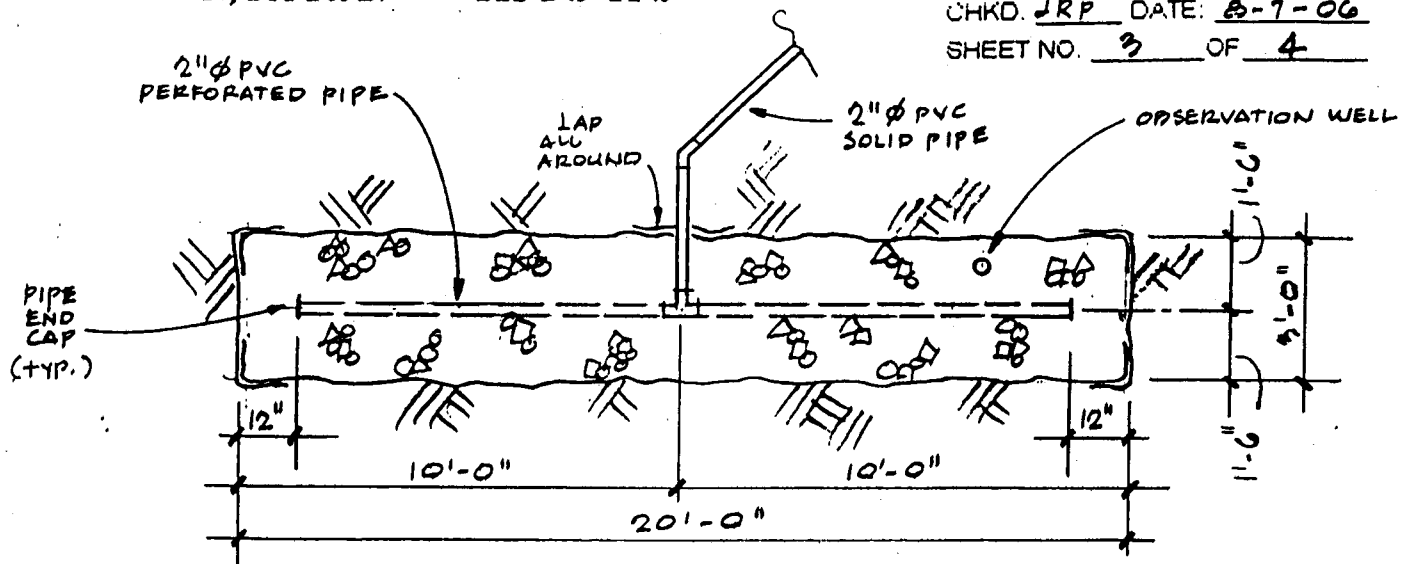


Ronald E. Ritchie

RITCHIE ENGINEERING CONSULTING ENGINEERS

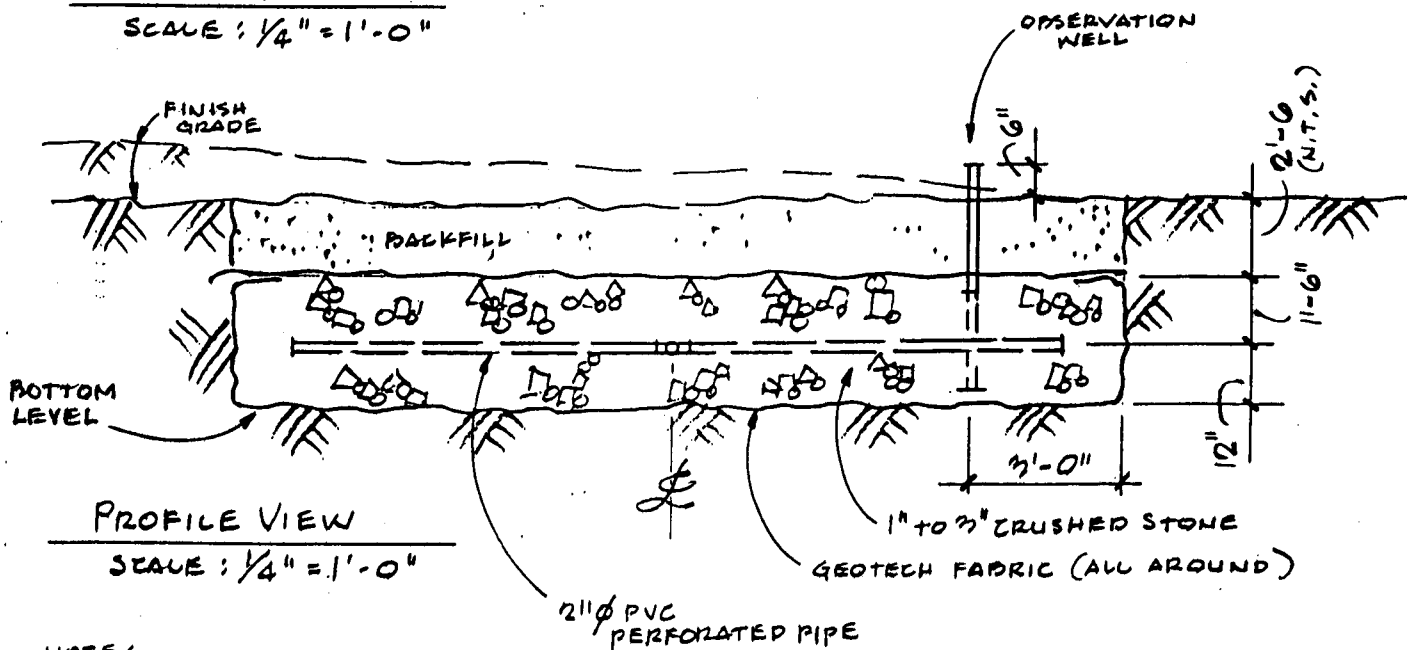
2707 HILLTOWN PIKE • P. O. BOX 70
HILLTOWN, PA 18927 • 215-249-1149

JOB NO. 06-1437
SUBJECT: MCGRATH CONSTR.
LONDON COURT LOT 1
SEEPAGE PIT DETAILS
BY: RED DATE: 8-4-06
CHKD. JRP DATE: 8-7-06
SHEET NO. 3 OF 4



PLAN VIEW

SCALE: $\frac{1}{4}" = 1'-0"$

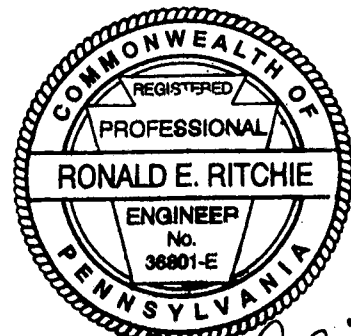


PROFILE VIEW

SCALE: $\frac{1}{4}'' = 1'-0''$

NOTE:
(N.T.S.) INDICATES THIS
DIMENSION IS
"NOT TO SCALE".

LONDON COURT LOT 1
UPPER MAKEFIELD TWP., PA.



Ronald E. Petchie



**RITCHIE ENGINEERING
CONSULTING ENGINEERS**

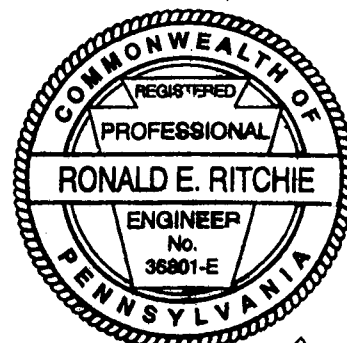
2707 HILLTOWN PIKE • P. O. BOX 70
HILLTOWN, PA 18927 • 215-249-1149

JOB NO. 06-1437
SUBJECT: MCGRATH CONSTR.
LONDON COURT LOT 1
SEEPAGE PIT - GEN. NOTES
BY: REP DATE: 8-4-06
CHKD. JRP DATE: 8-7-06
SHEET NO. 4 OF 4

General Notes:

1. Two-inch diameter, schedule 40, solid PVC plastic pipe (non-perforated) shall extend from house to trench.
2. This pipe shall run below grade a minimum of 36 inches and shall slope down to the trench at a minimum of two percent slope or 1/4in. per foot.
3. Use perforated pipe in the trench, as shown, with a minimum of two 1/4in. diameter holes per lineal foot of pipe.
4. The trench shall be lined with Geo-textile fabric on top and bottom, and all sides. At necessary corners and ends, all laps in the fabric shall be a minimum of 8 inches wide. Double lap 8 inches of material, all around, shall be at the intake pipe to trench wall interface.
5. The observation pipe well shall be a solid PVC plastic pipe from the top to 6in. below the top of trench and a perforated pipe from there to the bottom of the trench. The observation pipe shall have a six 6in. by 6in. plastic plate fastened to the bottom as a stand for the well pipe.
6. The top of the observation well pipe shall have a cap that is vandal resistant.
7. The 2in. diameter solid PCV pipe inside the house shall have a "P"-trap with a clean out pipefitting just inside the basement walls.
8. Outside of the building, a clean out shall be provided every 50ft. in the 2in. diameter solid PVC pipe. The clean out will be provided by a "wye"-type pipefitting.
9. The crushed stone in the trench shall be laid and machine compacted in maximum 6in. lifts.
10. A minimum of 6in. of topsoil shall cover the entire top of the trench.

LONDON COURT LOT 1
UPPER MAKEFIELD TWP., PA.



Ronald E. Ritchie

APPLICATION FOR PLAN EXAMINATION AND BUILDING PERMIT

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, and IX.

I. LOCATION OF BUILDING	AT (LOCATION) (NO.)	London Court		ZONING DISTRICT
	BETWEEN	London Court	AND	Stoney Brook R.
		(CROSS STREET)		(CROSS STREET)
	SUBDIVISION	London Court	LOT	1
		BLOCK		LOT SIZE
				Gross 0.9129 AC

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D

Net 0.5593 AC

A. TYPE OF IMPROVEMENT		D. PROPOSED USE - For "Wrecking" most recent use	
1 <input checked="" type="checkbox"/> New building 2 <input type="checkbox"/> Addition (If residential, enter number of new housing units added, if any, in Part D, 13) 3 <input type="checkbox"/> Alteration (See 2 above) 4 <input type="checkbox"/> Repair, replacement 5 <input type="checkbox"/> Wrecking (If multifamily residential, enter number of units in building in Part D, 13) 6 <input type="checkbox"/> Moving (relocation) 7 <input type="checkbox"/> Foundation only		Residential 12 <input checked="" type="checkbox"/> One family 13 <input type="checkbox"/> Two or more family - Enter number of units - - - - - 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter number of units - - - - - 15 <input type="checkbox"/> Garage 16 <input type="checkbox"/> Carport 17 <input type="checkbox"/> Other - Specify _____ Nonresidential 18 <input type="checkbox"/> Amusement, recreational 19 <input type="checkbox"/> Church, other religious 20 <input type="checkbox"/> Industrial 21 <input type="checkbox"/> Parking garage 22 <input type="checkbox"/> Service station, repair garage 23 <input type="checkbox"/> Hospital, institutional 24 <input type="checkbox"/> Office, bank, professional 25 <input type="checkbox"/> Public utility 26 <input type="checkbox"/> School, library, other educational 27 <input type="checkbox"/> Stores, mercantile 28 <input type="checkbox"/> Tanks, towers 29 <input type="checkbox"/> Other - Specify _____	
B. OWNERSHIP			
8 <input checked="" type="checkbox"/> Private (individual, corporation, nonprofit institution, etc.) 9 <input type="checkbox"/> Public (Federal, State, or local government)			
C. COST			
10. Cost of improvement..... \$ 252,000 To be installed but not included in the above cost a. Electrical..... 6000 b. Plumbing..... 7500 c. Heating, air conditioning..... 7000 d. Other (elevator, etc.)..... - 11. TOTAL COST OF IMPROVEMENT \$ 272,500		Nonresidential - Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for, department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.	

III. SELECTED CHARACTERISTICS OF BUILDING - For new buildings and additions, complete Parts E - L; for wrecking, complete only Part J, for all others skip to IV.

E. PRINCIPAL TYPE OF FRAME		G. TYPE OF SEWAGE DISPOSAL		J. DIMENSIONS	
30 <input type="checkbox"/> Masonry (wall bearing) 31 <input checked="" type="checkbox"/> Wood frame 32 <input type="checkbox"/> Structural steel 33 <input type="checkbox"/> Reinforced concrete 34 <input type="checkbox"/> Other - Specify _____		40 <input type="checkbox"/> Public or private company 41 <input checked="" type="checkbox"/> Private (septic tank, etc.)		48. Number of stories..... 2 49. Total square feet of floor area, all floors, based on exterior dimensions..... 4500 50. Total land area, sq. ft..... 24363.	
F. PRINCIPAL TYPE OF HEATING FUEL		H. TYPE OF WATER SUPPLY		K. NUMBER OF OFF-STREET PARKING SPACES	
35 <input checked="" type="checkbox"/> Gas 36 <input type="checkbox"/> Oil 37 <input type="checkbox"/> Electricity 38 <input type="checkbox"/> Coal 39 <input type="checkbox"/> Other - Specify _____		42 <input type="checkbox"/> Public or private company 43 <input checked="" type="checkbox"/> Private (well, cistern)		51. Enclosed..... 3 52. Outdoors.....	
I. TYPE OF MECHANICAL		L. RESIDENTIAL BUILDINGS ONLY			
Will there be central air conditioning? 44 <input checked="" type="checkbox"/> Yes 45 <input type="checkbox"/> No Will there be an elevator? 46 <input type="checkbox"/> Yes 47 <input type="checkbox"/> No		53. Number of bedrooms..... 4 54. Number of bathrooms { Full..... 3 Partial..... 1			

IV. IDENTIFICATION - To be completed by all applicants

Name	Mailing address - Number, street, city, and State	ZIP code	Tel. No.
1. Owner or Lessee	JP London Ct. LP 1262 Wood LA., Suite 207, Langhorne Pa	19047	215-757 752 8646 8570
2. Contractor	MCGRAH Homes 1262 Wood LA, Suite 207, Langhorne Pa		
3. Architect or Engineer	OMNIA Group 323 S. York Rd. Hotboro, Pa., 19040	19040	215-442 1780

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Signature of applicant	Address	Application date
	1262 Wood LA, Suite 207 Langhorne Pa, 19047	14 MAR 06

UPPER MAKEFIELD TOWNSHIP
DEPARTMENT OF CODE ENFORCEMENT
1076 Eagle Road • Newtown, PA 18940 • (215) 968-2868

FAX NO. 752 8570
FAX. NO.
FAX. NO. 1781

Upper Makefield Township
Department of Code Enforcement

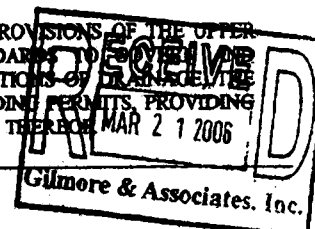
*Requirements on back

1076 Eagle Road, Newtown, PA 18940 (215) 968-2868 FAX (215) 968-9228

**FOR EROSION AND SEDIMENTATION
CONTROL AND GRADING PERMIT**

PERMIT NO. _____

THE UNDERSIGNED HEREBY MAKES APPLICATION FOR PERMIT IN ACCORDANCE WITH THE PROVISIONS OF THE UPPER MAKEFIELD TOWNSHIP CODIFIED ORDINANCES, ESTABLISHING REGULATIONS AND STANDARDS TO REGULATE THE GRADING OF LAND, THE MODIFICATION OF NATURAL TERRAIN, THE ALTERATIONS OF DRAINAGE, THE MAINTENANCE OF DRAINAGE NECESSARY TO CONTROL SOIL EROSION, THE ISSUING OF GRADING PERMITS, PROVIDING FOR THE ENFORCEMENT THEREOF AND PROVIDING FOR PENALTIES IN THE EVENT OF VIOLATION THEREOF.

Date of Application 14 MAR 06

DEVELOPER / OWNER:

Name McGaugh Homes
Address 1262 Wood Lane
Langhorne Pa 19047
Telephone No. 215-757-8646
Fax No. 215-752-8570

Tax Parcel No. 47-10-58
Lot No. 1
Subdivision Name London Court

TO Gilmore + Assoc. for 1st review 3/21/06

CONTRACTOR / BUILDER:

Name MC A Master Const.
Address 1224 Gen. Washington
Wash Crossin
Fax No. _____

Telephone No. 215-493-2398Applicant's Signature [Signature]

Location of Project London Court Lot #1
Project Description Single Family Home

RECEIVED

APR 18 2006

APPROVED TO
BEGIN WORK:U. M. T.
Code Enforcement Office

THIS PERMIT IS CONTINGENT UPON THE UPPER MAKEFIELD TOWNSHIP ENGINEER OR HIS DESIGNEE, HAVING THE RIGHT AT ANY TIME PRIOR, DURING AND AFTER CONSTRUCTION TO ENTER THE PREMISES TO INSPECT THE STORMWATER MANAGEMENT FACILITIES.

Township Engineer [Signature]Date 4/12/06CERTIFICATION☐ APPROVED FOR TEMPORARY CERTIFICATE

Township Engineer _____

Date _____

Comments _____

☐ APPROVED FOR OCCUPANCY

Township Engineer _____

Date _____

Comments _____

**UPPER MAKEFIELD TOWNSHIP
DEPARTMENT OF CODE ENFORCEMENT**

1076 Eagle Road • Newtown, PA 18940 • (215) 968-2868

T.M.P. 47-10-58

LOT # 1

**DRIVEWAY AND/OR FRONTAGE AND
STORM DRAINAGE IMPROVEMENT PERMIT**

Date of Application: 14 MAR 06 Permit Number: _____

Purpose and Location of Proposed Driveway: Single Family Home

Applicant's Name, Address and Phone #: McCarthy Homes
1262 Wood Lane St. 207, Layton Pa. 19047 215-757-8646

Owner's Name, Address and Phone #: JP Lender CT LP
Same as above

X: _____ IMPORTANT Gooding Pla Submitted

Owner or Owner's Agent must notify Township when construction work begins driveways. This application form must be accompanied by a scaled diagram of the proposed driveway and show the following:

1. Drainage swales (along both sides of the driveway)
2. Pipe size
3. Side yard dimensions with respect to driveway

For on-site inspection, the proposed driveway must be clearly marked with stakes, flags, pipe, spray paint, etc. where it is to intersect with an existing or proposed street. The permit number must accompany these markings to provide positive driveway identification.

MINIMUM DESIGN STANDARDS

Driveways shall be located not less than forty feet from the intersection ~~inner or corner lots~~ and shall provide access to the street of lower classification.

Driveways and drainage facilities shall be located not less than ten feet from all lot and/or tract boundary lines.

All driveways shall be provided with a crown of one-quarter inch per foot. Drainage swales shall be installed on both sides of driveways to adequately confine and carry all storm water away from existing or proposed streets and adjacent lots.

All driveways shall be located, designed and constructed as to provide a maximum possible site distance as its intersections with a street and/or other driveway. A stopping area measured fifty-five feet behind the paved roadway or any existing or proposed street shall be provided for all driveways and shall not exceed a four percent grade.

(THIS SIDE FOR OFFICIAL USE ONLY)

All driveways shall be provided with either a drainage pipe under the driveway, or a swale to permit water to flow across the driveway, as shall be determined by the Township Engineer and or Road Foreman based on site conditions. When drainage pipe is required it shall be reinforced with concrete pipes (RCP), whereby the diameter, length, depth, and placement shall be determined by the Township Engineer or Road Foreman. Precast concrete and sections shall be installed at each end of the pipe. When driveway exits onto state owned road, the owner will secure necessary PENNDOT permit.

Approval Signature

Date of ApprovalReview Comments:

NOTICE

All driveway permits are issued subject to a final post construction inspection by the TOWNSHIP ROAD FOREMAN or ENGINEER. The final inspection shall take place prior to the issuance of an occupancy permit, at which time the TOWNSHIP ROAD FOREMAN or ENGINEER shall certify the use of a driveway by signing and dating the certification accompanying this notice.

FINAL CERTIFICATION

I, the undersigned do hereby proclaim that a final inspection has been completed with

Permit No.:


FINAL APPROVAL

TITLE

DATE

Unit 2: **SAND/GRAVEL**Base of Unit 2: **18**Unit 3: **GRAVEL**Base of Unit 3: **31**Unit 4: **RED SHALE**Base of Unit 4: **250****BOREHOLE****SECTION 1:** Top: **0** Bottom: **118** Diameter: **10****SECTION 2:** Top: **118** Bottom: **250** Diameter: **6****CASING****CASING 1:**Top: **2** Bottom: **118** Diameter: **6** Material: **STEEL****SEAL(GROUT) 1:**Top: **6** Bottom: **118** Type: **CEMENT GROUT****WATER BEARING ZONE****ZONE 1:** Top: **170** Bottom: Yield: **5****ZONE 2:** Top: **208** Bottom: Yield: **10****ZONE 3:** Top: **219** Bottom: Yield: **10****ZONE 4:** Top: **228** Bottom: Yield: **15****ZONE 5:** Top: **241** Bottom: Yield: **10**

I hereby certify that the above information is true and complete to the best of my knowledge and belief.


Driller's Signature (required)11/16/05
Date

MIDDLE ATLANTIC ELECTRICAL INSPECTIONS, INC.

Electrical and Fire Inspection Enforcing and Consulting Service

302 E. Pennsylvania Blvd. Feasterville, PA 19053

DUPLICATE CERTIFICATE - ELECTRICAL APPROVAL

For Municipal Confirmation Only — Not A Utility Cut-In

Panel Board No. _____ Cert. No. _____ Cut-in Card No. _____

Owner LONDON CT

Occupant _____

Location LOT 1 LONDON CT UPRInstallation Consisting of ROUGH ELECTNEW HOUSEInstalled By M. J. S. Lic. # _____

The conditions following governed the issuance of this certificate, and any certificate previously issued is cancelled: —

This certificate only covers the electrical equipment and installation conditions as of date. Upon the introduction of additional equipment or alterations, application shall be promptly made for inspection.

Inspectors of this Company shall have the privilege of making inspections at any time, and if its rules are violated, the Company shall have the right to revoke this certificate.

Date 8-3-06 INSPECTOR [Signature]

Member N.F.P.A., I.A.E.I.

MIDDLE ATLANTIC ELECTRICAL INSPECTIONS, INC.

Electrical and Fire Inspection Enforcing and Consulting Service

302 E. Pennsylvania Blvd. Feasterville, PA 19053

DUPLICATE CERTIFICATE - ELECTRICAL APPROVAL

For Municipal Confirmation Only — Not A Utility Cut-In

Panel Board No. _____ Cert. No. _____ Cut-in Card No. _____

Owner LONDON COURT

Occupant _____

Location LOT 1 LONDON COURT 13THInstallation Consisting of FINAL ELECTAS PER PLANInstalled By M. J. S. Lic. # _____

The conditions following governed the issuance of this certificate, and any certificate previously issued is cancelled: —

This certificate only covers the electrical equipment and installation conditions as of date. Upon the introduction of additional equipment or alterations, application shall be promptly made for inspection.

Inspectors of this Company shall have the privilege of making inspections at any time, and if its rules are violated, the Company shall have the right to revoke this certificate.

Date 3-28-07 INSPECTOR [Signature]

Member N.F.P.A., I.A.E.I.