



Property Information		Request Information		Update Information
File#:	BS-Y01908-5053174892	Requested Date:	05/15/2025	Update Requested:
Owner:	KIM HOOVER	Branch:		Requested By:
Address 1:	2008 WILLOWOOD DR	Date Completed:	05/29/2025	Update Completed:
Address 2:		# of Jurisdiction(s):		
City, State Zip:	ROYERSFORD, PA	# of Parcel(s):	1	

## Notes

CODE VIOLATIONS	<p>Per Limerick Township Department of Zoning there are No Open Code Violation cases on this property.</p> <p>Collector: Limerick Township Payable Address: 646 West Ridge Pike, Limerick PA 19468 Business#: (610) 495-7909</p>
PERMITS	<p>Per Limerick Township Building Department there are Open &amp; Expired Permits on this property.</p> <p>Collector: Limerick Township Payable Address: 646 West Ridge Pike, Limerick PA 19468 Business#: (610) 495-7909</p> <p>Comments : Per Limerick Township Building Department there are Open &amp; Expired Permits on this property. Please contact Limerick Township Building department for more information.</p>
SPECIAL ASSESSMENTS	<p>Per Limerick Township Finance Department there are no Special Assessments/liens on the property.</p> <p>Collector: Limerick Township Payable Address: 646 West Ridge Pike, Limerick PA 19468 Business#: (610) 495-7909</p> <p>UNABLE TO PROVIDE DOCUMENTATION TO THIRD PARTIES. VERBAL INFO ACQUIRED.</p>
DEMOLITION	NO



## UTILITIES

### WATER

Account #: NA

Payment Status: NA

Status: Pvt & Liable

Amount: NA

Good Thru: NA

Account Active: NA

Collector : Pennsylvania American Water

Payable Address : 852 Wesley Drive Mechanicsburg, PA 17055

Business#: 800-565-7292

UNABLE TO PROVIDE INFORMATION TO THIRD PARTIES. HOMEOWNERS AUTHORIZATION  
NEEDED.

### SEWER

Account #: NA

Payment Status: NA

Status: Pvt & Liable

Amount: NA

Good Thru: NA

Account Active: NA

Collector : Aqua America Inc

Payable Address : 762 West Lancaster Ave., Bryn Mawr, PA 19010

Business (877) 987-2782

UNABLE TO PROVIDE INFORMATION TO THIRD PARTIES. HOMEOWNERS AUTHORIZATION  
NEEDED.

### Garbage

Garbage Private hauler with Lien status and Balance Unknown.

Parcel

TaxMapID	37054A046
Parid	37-00-05337-15-2
Land Use Code	1101
Land Use Description	R - SINGLE FAMILY
Property Location	2008 WILLOWWOOD DR
Lot #	46
Lot Size	28063 SF
Front Feet	74
Municipality	LIMERICK
School District	SPRING FORD AREA
Utilities	ALL PUBLIC//

Owner

Name(s)	HOOVER KIM L & MARIAN R
Name(s)	
Mailing Address	2008 WILLOWWOOD DR
Care Of	
Mailing Address	
Mailing Address	ROYERSFORD PA 19468

Current Assessment

Appraised Value	Assessed Value	Restrict Code
285,000	285,000	

Estimated Taxes

County	1,497
Montco Community College	111
Municipality	993
School District	9,266
Total	11,867
Tax Lien	<a href="#">Tax Claim Bureau Parcel Search</a>

Last Sale

Sale Date	13-FEB-2004
Sale Price	\$451,900
Tax Stamps	4519
Deed Book and Page	5497-01926
Grantor	HERITAGE ASHBROOK ESTATES LP
Grantee	HOOVER KIM L & MARIAN R
Date Recorded	26-FEB-2004

Sales History

Sale Date	Sale Price	Tax Stamps	Deed Book and Page	Grantor	Grantee	Date Recorded
02-13-2004	\$451,900	4519	5497-01926	HERITAGE ASHBROOK ESTATES LP	HOOVER KIM L & MARIAN R	02-26-2004

Lot Information

Lot Size	28063 SF
Lot #	46
Remarks	74 X IRR 28063 SF
Remarks	
Remarks	

Residential Card Summary

Card	1
Land Use Code	1101
Building Style	COLONIAL
Number of Living Units	1
Year Built	2003
Year Remodeled	
Exterior Wall Material	ALUM/VINYL
Number of Stories	2
Square Feet of Living Area	4,028
Total Rms/Bedrms/Baths/Half Baths	11/4/2/1
Basement	FULL
Finished Basement Living Area	850
Rec Room Area	
Unfinished Area	
Wood Burning Fireplace	1
Pre Fab Fireplace	
Heating	CENTRAL WITH A/C
System	WARM FORCED AIR
Fuel Type	GAS
Condo Level	
Condo/Townhouse Type	
Attached Garage Area	525
Basement Garage No. of Cars	

Accessory Structures

Card	Type	Type	Size	Year Built
1	RP2	PREFABRICATED VINYL POOL	600	2016

Permits

1 of 5

Permit Date	30-MAY-2017
Permit Number	17-0325
Amount	6200
Purpose	SHED
Notes	
Notes	
Notes	
Status	CLOSED

Assessment History

Appraised Value	Assessed Value	Restrict Code	Effective Date	Reason	Notice Date
285,000	285,000		01-JAN-2017	SWIMMING POOL	01-JUN-2017
280,580	280,580		01-MAR-2004	NEW HOUSE	06-APR-2004
	280,580		01-MAR-2004	NEW HOUSE	
	13,700		01-JAN-2003	SUBDIVISION	



# BUILDING PERMIT

AMOUNT  
PAID

ck #12078

VALIDATION

DATE January 30, 2004PERMIT NO. 2004-023APPLICANT Heritage ConstructionADDRESS 50 Sunnybrook Rd.

GC04-048

(NO.)

(STREET)

(CONTR'S LICENSE)

PERMIT TO New

(TYPE OF IMPROVEMENT)

( )  
NO.

STORY

SFD(Basement)

(PROPOSED USE)

NUMBER OF  
DWELLING UNITSAT (LOCATION) 2008 Willowood Drive

(NO.)

(STREET)

ZONING  
DISTRICTR-2BETWEEN Royersford Road

(CROSS STREET)

AND

Linfield-Trappe Road

(CROSS STREET)

SUBDIVISION Ashbrook

LOT

BLOCK 54A/46LOT  
SIZE

BUILDING IS TO BE \_\_\_\_\_ FT. WIDE BY \_\_\_\_\_ FT. LONG BY \_\_\_\_\_ FT. IN HEIGHT AND SHALL CONFORM IN CONSTRUCTION

TO TYPE \_\_\_\_\_ USE GROUP \_\_\_\_\_ BASEMENT WALLS OR FOUNDATION \_\_\_\_\_ (TYPE)

REMARKS: Finish basement per plans submitted and Limerick Township Building/Zoning Regulations.AREA OR  
VOLUME 1,149

(CUBIC/SQUARE FEET)

ESTIMATED COST \$ 7,000.00PERMIT  
FEE \$ 287.25OWNER Heritage-Ashbrook Estates, L.P.ADDRESS 50 Sunnybrook Rd., Pottstown, PA 19464

BUILDING DEPT.

BY Samira Cantor - Edwards

(Affidavit on reverse side of application to be completed by authorized agent of owner)

DEPARTMENTAL APPROVAL FOR CERTIFICATE  
of OCCUPANCY and COMPLIANCE

To be filled in by each division indicated hereon  
upon completion of its final inspection.

BUILDINGS

Permit No. \_\_\_\_\_

Approved by [Signature]

Date 8-19-04

Remarks \_\_\_\_\_

PLUMBING

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

ELECTRICAL

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

OTHER

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

OTHER

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

CERTIFICATE ISSUED

DATE \_\_\_\_\_

**BUILDING PERMIT -  
CERTIFICATE OF OCCUPANCY**

APPLICANT Heritage Construction DATE January 30, 2004 PERMIT NO. 2004-023  
ADDRESS 50 Sunnybrook Rd. (NO.) (STREET) (CONTR'S LICENSE) GC04-048  
PERMIT TO New (TYPE OF IMPROVEMENT) ( ) STORY SFD (Basement) NUMBER OF DWELLING UNITS \_\_\_\_\_  
(NO.) (PROPOSED USE)

AT (LOCATION) 2008 Willowood Drive ZONING DISTRICT R-2  
(NO.) (STREET)  
BETWEEN Roversford Road AND Linfield-Trappe Road  
(CROSS STREET) (CROSS STREET)

SUBDIVISION Ashbrook LOT \_\_\_\_\_ BLOCK 54A/46 LOT SIZE \_\_\_\_\_

BUILDING IS TO BE \_\_\_\_\_ FT. WIDE BY \_\_\_\_\_ FT. LONG BY \_\_\_\_\_ FT. IN HEIGHT AND SHALL CONFORM IN CONSTRUCTION

TO TYPE \_\_\_\_\_ USE GROUP \_\_\_\_\_ BASEMENT WALLS OR FOUNDATION \_\_\_\_\_ (TYPE)

REMARKS: Finish basement per plans submitted and Limerick Township Building/Zoning Regulations.

AREA OR VOLUME 1,149  
(CUBIC/SQUARE FEET)

OWNER Heritage-Ashbrook Estates, L.P.  
ADDRESS 50 Sunnybrook Rd., Pottstown, PA 19464

TO BE POSTED ON PREMISES  
SEE REVERSE SIDE FOR CONDITIONS OF CERTIFICATE



2004-023

CK #12078

Permit update

APPLICATION FOR  
PLAN EXAMINATION AND  
BUILDING PERMIT

NO.

STREET

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, and IX.

<b>I. LOCATION OF BUILDING</b> AT (LOCATION) <u>2008 Willowood Drive</u> (STREET) ZONING DISTRICT <u>R2</u> BETWEEN <u>Royersford Road</u> (CROSS STREET) AND <u>Linfield-Trappe Road</u> (CROSS STREET) SUBDIVISION <u>Ashbrook Estates</u> LOT <u>44</u> BLOCK <u>54A/46</u> LOT SIZE <u>54A/46</u>		
<b>II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D</b>		
<b>A. TYPE OF IMPROVEMENT</b> 1 <input checked="" type="checkbox"/> New building 2 <input type="checkbox"/> Addition (If residential, enter number of new housing units added, if any, in Part D, 13) 3 <input type="checkbox"/> Alteration (See 2 above) 4 <input type="checkbox"/> Repair, replacement 5 <input type="checkbox"/> Wrecking (If multifamily residential, enter number of units in building in Part D, 13) 6 <input type="checkbox"/> Moving (relocation) 7 <input type="checkbox"/> Foundation only <b>B. OWNERSHIP</b> 8 <input checked="" type="checkbox"/> Private (individual, corporation, nonprofit institution, etc.) 9 <input type="checkbox"/> Public (Federal, State, or local government)		<b>D. PROPOSED USE - For "Wrecking" most recent use</b> Residential 12 <input checked="" type="checkbox"/> One family 13 <input type="checkbox"/> Two or more family - Enter number of units - - - - - 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter number of units - - - - - 15 <input type="checkbox"/> Garage 16 <input type="checkbox"/> Carport 17 <input type="checkbox"/> Other - Specify _____ Nonresidential 18 <input type="checkbox"/> Amusement, recreational 19 <input type="checkbox"/> Church, other religious 20 <input type="checkbox"/> Industrial 21 <input type="checkbox"/> Parking garage 22 <input type="checkbox"/> Service station, repair garage 23 <input type="checkbox"/> Hospital, hospital 24 <input type="checkbox"/> Office, bank, professional 25 <input type="checkbox"/> Other - Specify _____ 26 <input type="checkbox"/> Stores, mercantile 27 <input type="checkbox"/> Tanks, towers 28 <input type="checkbox"/> Other - Specify _____
<b>C. COST</b> 10. Cost of improvement, ..... \$ <u>7,000</u> To be installed but not included in the above cost a. Electrical..... b. Plumbing..... c. Heating, air conditioning..... d. Other (elevator, etc.), ..... 11. TOTAL COST OF IMPROVEMENT \$ <u>7,000</u>		Nonresidential - Describe in detail proposed use of buildings, e. g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for, department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use. Living Area - Garage <u>Finished Basement - 1149 sq ft</u>
<b>III. SELECTED CHARACTERISTICS OF BUILDING - For new buildings and additions, complete Parts E - L; for wrecking, complete only Part J, for all others skip to IV.</b>		
<b>E. PRINCIPAL TYPE OF FRAME</b> 30 <input type="checkbox"/> Masonry (wall bearing) 31 <input checked="" type="checkbox"/> Wood frame 32 <input type="checkbox"/> Structural steel 33 <input type="checkbox"/> Reinforced concrete 34 <input type="checkbox"/> Other - Specify _____		<b>G. TYPE OF SEWAGE DISPOSAL</b> 40 <input checked="" type="checkbox"/> Public or private company 41 <input type="checkbox"/> Private (septic tank, etc.) <b>H. TYPE OF WATER SUPPLY</b> 42 <input checked="" type="checkbox"/> Public or private company 43 <input type="checkbox"/> Private (well, cistern)
<b>F. PRINCIPAL TYPE OF HEATING FUEL</b> 35 <input checked="" type="checkbox"/> Gas 36 <input type="checkbox"/> Oil 37 <input type="checkbox"/> Electricity 38 <input type="checkbox"/> Coal 39 <input type="checkbox"/> Other - Specify _____		<b>J. DIMENSIONS</b> 48. Number of stories..... 49. Total square feet of floor area, all floors, based on exterior dimensions..... 50. Total land area, sq. ft. .... <b>K. NUMBER OF OFF-STREET PARKING SPACES</b> 51. Enclosed..... 52. Outdoors..... <b>L. RESIDENTIAL BUILDINGS ONLY</b> 53. Number of bedrooms..... 54. Number of bathrooms { Full..... Partial.....

15

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



IV. IDENTIFICATION - To be completed by all applicants.

Name		Mailing address - Number, street, city, and State	ZIP code	Tel. No.
1. Owner or Lessee	Heritage-Ashbrook Estates L.P.	50 Sunnybrook Road Pottstown, PA 19	19464	484-944 5677
2. Contractor	Heritage Const. CO., Inc.	Same as above	Builder's License No. 6004-048	
3. Architect or Engineer	Omnia Group	323 S. York Road Hatboro, PA	19040	215-442 17800

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Signature of applicant	Address	Application date
	50 Sunnybrook Road, Pottstown	1/26/04

DO NOT WRITE BELOW THIS LINE


V. PLAN REVIEW RECORD - For office use

Plans Review Required	Check	Plan Review Fee	Date Plans Started	By	Date Plans Approved	By	Notes
BUILDING		\$					
PLUMBING		\$					
MECHANICAL		\$					
ELECTRICAL		\$					
OTHER		\$					

VI. ADDITIONAL PERMITS REQUIRED OR OTHER JURISDICTION APPROVALS

Permit or Approval	Check	Date Obtained	Number	By	Permit or Approval	Check	Date Obtained	Number	By
BOILER					PLUMBING				
CURB OR SIDEWALK CUT					ROOFING				
ELEVATOR					SEWER				
ELECTRICAL					SIGN OR BILLBOARD				
FURNACE					STREET GRADES				
GRADING					USE OF PUBLIC AREAS				
OIL BURNER					WRECKING				
OTHER					OTHER				

VII. VALIDATION

Building Permit number _____ Building Permit issued _____ 19____ Building Permit Fee \$ _____ Certificate of Occupancy \$ _____ Drain Tile \$ _____ Plan Review Fee \$ _____		FOR DEPARTMENT USE ONLY Use Group _____ Fire Grading _____ Live Loading _____ Occupancy Load _____ Approved by:  1/29/04 TITLE _____
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### VIII. ZONING PLAN EXAMINERS NOTES

DISTRICT

USE

FRONT YARD

SIDE YARD

SIDE YARD

REAR YARD

NOTES

### IX. SITE OR PLOT PLAN – For Applicant Use

**Code Inspections, Inc.**  
**605 Horsham Road - Horsham, PA 19044**

54A/46

**DUPLICATE ELECTRICAL APPROVAL**

**Municipal Confirmation Only / Not a Utility Cut-In Card**

Owner's Name **Ashbrook Estates**

Job # **J-27835**

Job Location **Lot 46 Willowwood Dr**

Town / Twp. **Royersford**  
**(Limerick Twp) /**

Equipment

**Final electric including switches, fixtures and receptacles. Does not include**  
**Heating and A/C equipment 200 amp service with ground rod.**

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Contractor's Name **Perone Electric Inc.**

Permit #:

Service Approval Date: **12/17/2003**

Rough Approval Date: **12/22/2003**

Inspector's Name **Tom Stafford**

Final Approval Date: **02/05/2004**

**RECEIVED**

FEB 11 2004

CODE ENFORCEMENT  
LIMERICK TOWNSHIP



# INTER-OFFICE RECEIPT TRANSMITTAL

Name: Heritage  
 Development: Ashbrook  
 Location: 2008 W. Ridgeway Rd  
 Check #: 12078

Date: 1/27/04  
 Lot #: 46  
 B. 54A U 46

107 - Cont. Reg. \_\_\_\_\_  
 113 - Solicitation \_\_\_\_\_  
 109 - Home Occup. Permit \_\_\_\_\_  
 114 - Trailer Park \_\_\_\_\_  
 801 - Highway Occup. Permit \_\_\_\_\_  
 115 - Zoning Permit \_\_\_\_\_  
 108 - Sign Permit \_\_\_\_\_  
 110 - Zoning Hearing \_\_\_\_\_  
 116 - Petition to Re-Zone \_\_\_\_\_  
 904 - Conditional Use Hearing \_\_\_\_\_  
 111 - Sale of Codes/Maps \_\_\_\_\_  
 \_\_\_\_\_  
 901 - Copying Fees \_\_\_\_\_  
 117 - Alarm Permit \_\_\_\_\_

Commercial or Residential: Residential  
 Sq. Ft.: 1149  
 Cost of Improvement: \_\_\_\_\_  
 101 - Building Permit \$287.25  
 Cost for Electrical \_\_\_\_\_  
 102 - Electrical Permit \_\_\_\_\_  
 Number of Plumbing Fixtures: \_\_\_\_\_  
 103 - Plumbing Permit \_\_\_\_\_  
 104 - Use & Occup. Permit \_\_\_\_\_  
 Cost for Mechanical: \_\_\_\_\_  
 105 - Mechanical Permit: \_\_\_\_\_  
 118 - Re-Inspection Fees: \_\_\_\_\_  
 119 - Building Plan Review: \_\_\_\_\_  
 Other \_\_\_\_\_

Money Received for the funds listed below MUST be on separate Checks.

701 - Road Improvement: \_\_\_\_\_ 702 - Act 209: \_\_\_\_\_  
 703 - Lewis Road: \_\_\_\_\_ 708 - Open Space: \_\_\_\_\_

TOTAL \$287.25

FOR YOUR SECURITY THIS CHECK CONTAINS A WATERMARK-HOLD UP TO LIGHT OR TURN OVER AND HOLD AT ANGLE

**HERITAGE CONSTRUCTION CO., INC.**  
 HERITAGE RESIDENTIAL  
 3326 Old York Road, Suite A100  
 Furlong, PA 18925

**HARLEYSVILLE NATIONAL**  
 Bank and Trust Company  
 Limerick Office

**No. 12078**

DATE

01/26/2004

CHECK AMOUNT

\*\*\*\*\*287.25

PAY TWO HUNDRED EIGHTY-SEVEN DOLLARS AND 25 CENTS\*\*\*\*\*

TO THE  
ORDER  
OF

Limerick Township  
 646 W. Ridge Pike  
 Limerick, Pa 19468

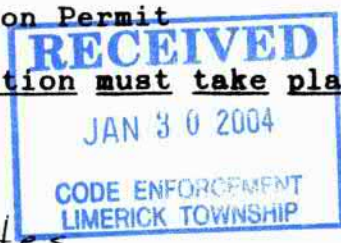
HERITAGE CONSTRUCTION CO., INC.

012078 00319118120031383025

10-8-03  
CK# 11789  
50.00

Limerick Township Municipal Authority

Connection Permit



Authority supervised on site inspection must take place at the time of connection.

Permit No. 4281

Issued to Ashbrook Estates (owner) of the

Property situated at 2008 Willowwood Drive

\_\_\_\_\_, for connection of a building sewer with the public sewer system which abuts the property on Lot 46

\_\_\_\_\_  
(list street where connection will be made)

I, (we), the undersigned applicant(s) and property owner(s), do hereby agree to permit any member, agent, servant, or employee of Limerick Township Municipal Authority to enter upon my property, as described above, during the course of connection to the public waste water system. At the completion of said work, I, (We), agree to permit any member, agent, servant, or employee of Limerick Township Municipal Authority to enter upon my property for final inspection and any subsequent reinspection of said work.

I, (We), also acknowledge and agree that Limerick Township Municipal Authority is not responsible or liable for any action or order by any governmental regulatory agency which affects or requires the limitation or cessation of said permit or the benefits of the same.

I, (We), the undersigned applicant(s), do hereby agree to abide by all the provisions of all the rules and regulations of Limerick Township Municipal Authority insofar as the above mentioned work is concerned, and further agree to properly safeguard the public during the course of said work covered by this permit.

Connection/tapping fee paid: \$4,300.00 Date paid 12-6-01

Special Notes For Sewage Enforcement Officer \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

[Signature]  
Applicant Signature

\*\* SEE ATTACHED ADDENDUM  
PS#6  
K.R.

\_\_\_\_\_  
Applicant Signature  
Patricia Ramsey  
Issuing Authority

Date 10-8-03

Date Plumbing inspected 01-29-04 By [Signature]





Deck Permit  
Limerick Township

646 W. Ridge Pike  
Limerick, PA 19468

Phone: 610-495-0951 Fax: 610-495-0952

Department Use Only

Permit #: 08-1383

Approved Date: 4/8/2008

Issued By: Bob Bieber

Job Site Information

Address: 2008 WILLOWWOOD DR  
City: ROYERSFORD State: PA  
Zone: R1  
Subdivision:  
Parcel/Block/Unit/Lot: 370005337152/054A/046/0046

Owner Information

Name: HOOVER KIM L & MARIAN R  
Address: 2008 WILLOWWOOD DR  
City/State/Zip: Royersford, PA 19468  
Telephone: 610-792-4436  
Lot Size:

Applicant Information

Name: HOOVER KIM L & MARIAN R  
Address: 2008 WILLOWWOOD DR  
City/State/Zip: Royersford, PA 19468  
Telephone: 610-792-4436  
Construction Type: Land Use: 1101

Contractor Information

Name: HOOVER KIM L & MARIAN R  
Address: 2008 WILLOWWOOD DR  
City/State/Zip: Royersford, PA 19468  
Telephone: 610-792-4436  
Use Group: Building Use:

This permit conveys no right to occupy any street, alley or sidewalk or any part thereof, either temporarily or permanently. Encroachments on public property, not specifically permitted under the building code, must be approved by the jurisdiction. Street or alley grades as well as depth and location of public sewers may be obtained from the Department of Public Works. The issuance of this permit does not release the applicant from the conditions of any applicable subdivision restrictions.

1. All applicable inspections must be called for with a minimum of twenty-four (24) hours notice to the building department.
2. Approved plans must be retained on the job and this card kept posted until final inspection has been made. Where a certificate of occupancy is required, such building shall not be occupied until final inspection has been made.
3. Work shall not proceed until the inspector has approved the various stages of construction.
4. Plumbing/Sewer Permits - A house trap with a fresh air vent and clean out is required on all buildings.
5. Permit will become null and void if construction work is not started within six months of the date the permit is issued, as noted above.

Description of Work:

Build a 620 sq. ft. deck per plans submitted and Limerick Township building/zoning regulations.

Project Cost: 4,800.00

Permit Fees

Description	Work Being Done By	Units	Cost @	Sum
PA State Training Fee		1.00	\$4.00 per 1.00	\$4.00
New Construction Res.		620.00	\$0.35 per 1.00	\$217.00

Signature:

*Sandra Mariani*

Date:

*4/9/08*

Grand Total: \$221.00

# LIMERICK TOWNSHIP

## APPLICATION FOR BUILDING PERMIT

646 West Ridge Pike, Limerick, PA 19467 610-495-6432 FAX 610-495-0952

### LOCATION OF BUILDING

ADDRESS **2008 WILLOWWOOD DRIVE**

Number

Street

Town

BETWEEN: **RIDGE PIKE**

AND **LINFIELD TRAIL**

ZONING **ROTTERSFO RD**

Cross Street

Cross Street

SUBDIVISION

**ASH BROOK ESTATES**

LOT

**46**

BLOCK

UNIT

- 01) ☐ NEW SINGLE FAMILY DWELLING  
02) ☐ NEW MULT. FAMILY DWELLING  
04) ☐ NEW INSTITUTIONAL BUILDING  
05) ☐ NEW PUBLIC BUILDING

- 11) ☒ ADDITION SINGLE FAMILY DWELLING  
12) ☐ ADDITION MULT. FAMILY DWELLING  
14) ☐ ADDITION INSTITUTIONAL BUILDING  
15) ☐ ADDITION PUBLIC BUILDING

- 21) ☐ ALTERATION SINGLE FAMILY DWELLING  
22) ☐ ALTERATION MULT. FAMILY DWELLING  
24) ☐ ALTERATION INSTITUTIONAL BUILDING  
25) ☐ ALTERATION PUBLIC BUILDING

- 31) ☐ REPAIR SINGLE FAMILY DWELLING  
32) ☐ REPAIR MULT. FAMILY DWELLING  
34) ☐ REPAIR INSTITUTIONAL BUILDING  
35) ☐ REPAIR PUBLIC BUILDING

☐ OTHER **DECK**

- 52) ☐ DEMOLITION  
53) ☐ FIRE REPAIR  
54) ☐ SWIMMING POOL  
55) ☐ TANKS / PUMP  
56) ☐ TENNIS COURT  
57) ☐ SIGN / AWNING  
58) ☐ OTHER (BLDG.)

- ☐ TEMPORARY TENT  
☐ SATELLITE ANTENNA

- 61) ☐ H.V.A.C. SYSTEM  
62) ☐ A/C UNIT(S) ONLY  
63) ☐ GAS HEATER  
64) ☐ OIL HEATER  
65) ☐ HEAT PUMP  
66) ☐ CHIMNEY REPAIR

### OWNERSHIP

- 81) ☒ PRIVATE (IND., INST., CORP.)  
82) ☐ PUBLIC (LOCAL, STATE, FED.)

### COST

98) COST OF CONST.

ELECTRICAL ☒

PLUMBING ☒

H.V.A.C. ☒

99) TOTAL COST

### COST

### CONTRACTOR'S NAME

### PROPOSED USE OF PROPERTY

- 91) ☒ SINGLE FAMILY DWELLING  
92) ☐ MULT. FAMILY DWELLING (#Units \_\_\_\_\_)  
93) ☐ BUSINESS (Type) \_\_\_\_\_  
94) ☐ INSTITUTIONAL BUILDING  
95) ☐ OTHER (Type) \_\_\_\_\_  
96) ☐ PUBLIC BUILDING

### FILL OUT SELECTED CHARACTERISTICS OF BUILDING

#### PRINCIPAL TYPE OF FRAME

- ☐ MASONRY (wall bearing)  
☒ WOOD FRAME  
☐ STRUCTURAL STEEL  
☐ REINFORCED CONCRETE  
☐ OTHER  
Specify \_\_\_\_\_

#### TYPE OF SEWAGE DISPOSAL

- ☐ PUBLIC OR PRIVATE CO.  
☐ INDIVIDUAL (septic tank, etc.)

#### TYPE OF WATER SUPPLY

- ☐ PUBLIC OR PRIVATE CO.  
☐ INDIVIDUAL (well, cistern)

#### DIMENSIONS

NUMBER OF STORIES .....

TOTAL SQ. FT. OF FLOOR AREA  
ALL FLOORS, BASED ON  
EXTERIOR DIMENSIONS

TOTAL LAND AREA, SQ. FT.

#### PRINCIPAL TYPE OF HEATING FUEL

- ☐ GAS  
☐ OIL  
☐ ELECTRICITY  
☐ COAL  
☐ OTHER  
Specify \_\_\_\_\_

#### TYPE OF MECHANICAL

WILL THERE BE CENTRAL AIR  
CONDITIONING?  
☐ YES ☐ NO

WILL THERE BE AN ELEVATOR?  
☐ YES ☐ NO

#### NUMBER OF OFF-STREET PARKING SPACES (Enclosed)

OUTDOORS .....

#### RESIDENTIAL BLDGS. ONLY

NUMBER OF BEDROOMS .....

NUMBER OF BATHROOMS

Full ..... Partial .....

Appeal No.

Plan No.

Permit No.



Name	Mailing Address - Number, Street, City, State, Zip	Tel. No.
1. Property Owner <i>KIM + MARIAN HOOVER</i>	<i>2008 WILLOWWOOD DR. ROYERSFORD PA 19468</i>	<i>610-792-4436</i>
2. Contractor		
3. Architect or Engineer		

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.  
The issuance of this building permit authorizes Building and Planning Department employees the right to enter the property at reasonable hours for the purpose of conducting code inspections.  
The content of the certificate of workers compensation insurance or affidavit on file with Limerick Township is still in effect with no changes in coverage of employees.

Signature of Applicant <i>Kim L Hoover</i>	Address <i>2008 WILLOWWOOD DR ROYERSFORD, PA 19468</i>	Application Date <i>4/6/2008</i>
Print Name <i>KIM L. HOOVER</i>	Contact Phone #'s <i>HOME 610-792-4436 CELL 215-439-1705</i>	

DESCRIBE, IN DETAIL, THE WORK TO BE PERFORMED

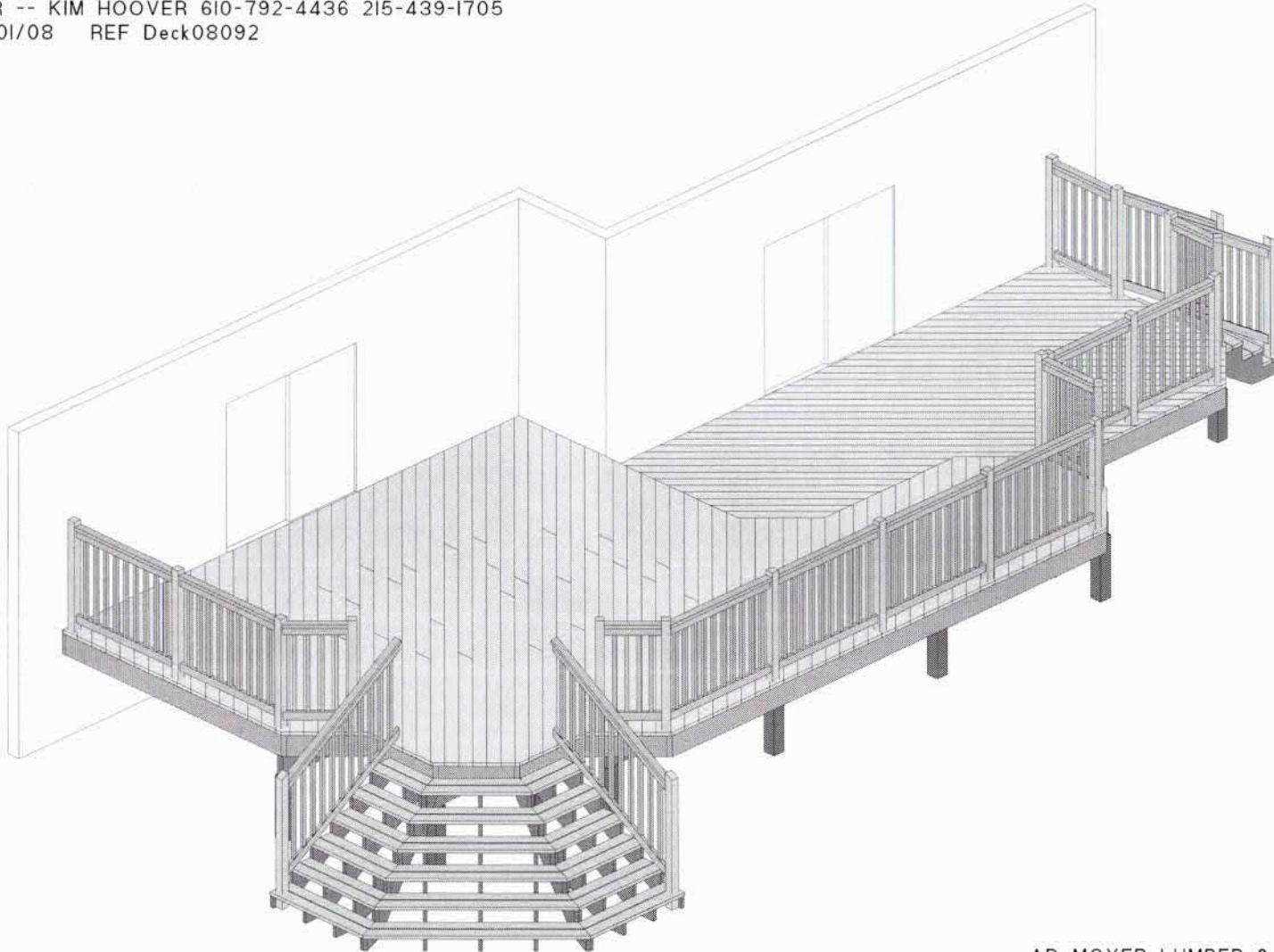
*ADDITION OF DECK (LAYOUT DESIGN ATTACHED) WITH PARTS LIST & LOAD SPECIFICATIONS AS PREPARED BY A.D. MOYER LUMBER.*

APPROVED BY: <i>Bob Bieser</i>	PERMIT FEE:	DATE ISSUED: <i>4-8-08</i>	PERMIT #:
USE GROUP:	FIRE GRADING:	LIVE LOADING:	OCCUPANCY LOAD:

Called GAC info to his wife

Customer Copy

CUSTOM VIEW  
CUSTOMER -- KIM HOOVER 610-792-4436 215-439-1705  
DATE 04/01/08 REF Deck08092

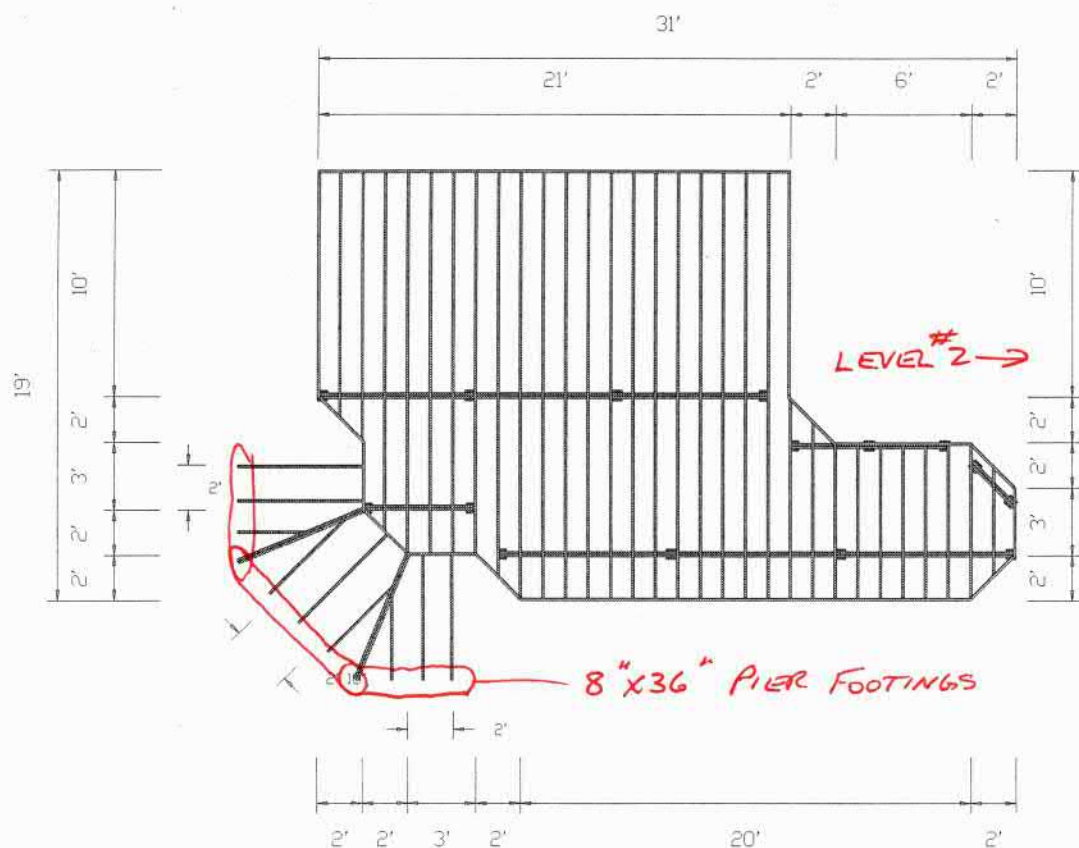


AD MOYER LUMBER & HARDWARE  
300 ARMAND HAMMER BLVD  
POTTSTOWN, PA  
610-327-1120

# PLAN VIEW FOR LEVEL 1

CUSTOMER -- KIM HOOVER 610-792-4436 215-439-1700  
 DATE 04/01/08 REF Deck08092

AD MOYER LUMBER & HARDWARE  
 1000 ARMAND HAMMER BLVD  
 POTTSTOWN, PA  
 610-327-1120



**LOAD AND SUPPORT:** Your deck will support a 77 PSF live load. Posts have 36" below-ground post support.

**DECK AND POST HEIGHT:** You selected a height of 48" from the top of decking to level ground. The top of the deck support posts will therefore be 28" above ground level. Your salesperson can provide information for uneven or sloped ground.

**JOISTS:** Set joists on top of beams, 12" center to center.

**NOTE:** The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

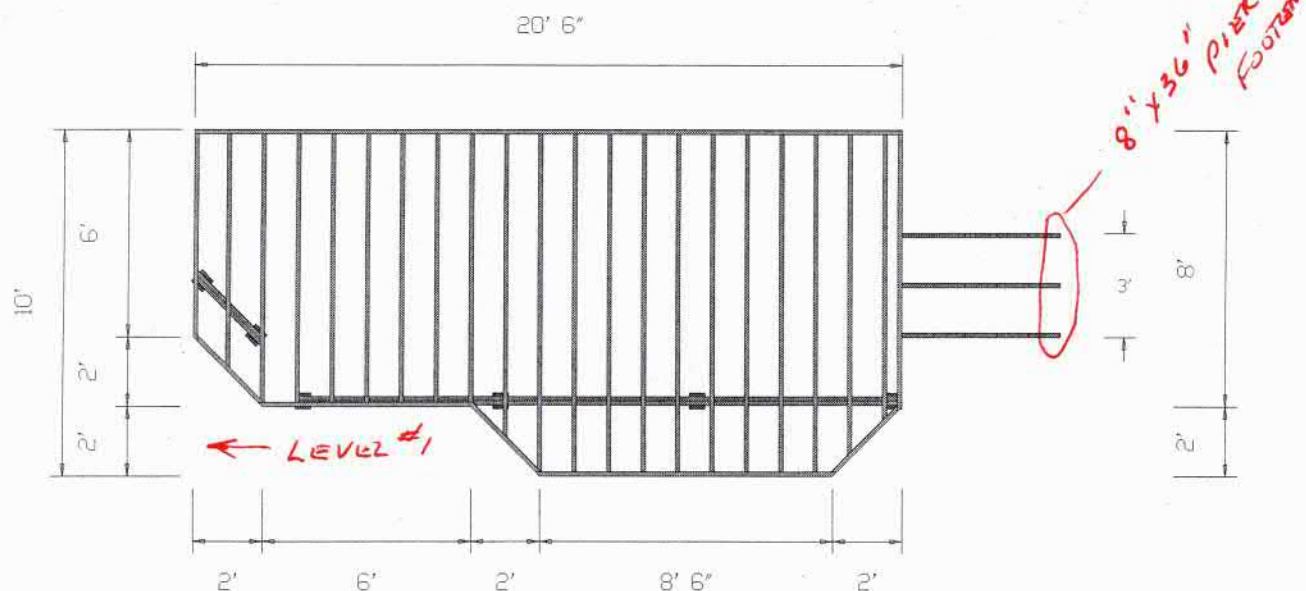
Be sure to follow the deck construction detail available from your store salesperson.



PLAN VIEW FOR LEVEL 2

CUSTOMER -- KIM HOOVER 610-792-4436 215-439-1700  
DATE 04/01/08 REF Deck08092

AD MOYER LUMBER & HARDWARE  
600 ARMAND HAMMER BLVD  
POTTSTOWN, PA  
610-327-1120



**LOAD AND SUPPORT:** Your deck will support a 142 PSF live load. Posts have 36" below-ground post support.

**DECK AND POST HEIGHT:** You selected a height of 42" from the top of decking to level ground. The top of the deck support posts will therefore be 22" above ground level. Your salesperson can provide information for uneven or sloped ground.

**JOISTS:** Set joists on top of beams, 12" center to center.

**NOTE:** The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

Be sure to follow the deck construction detail available from your store salesperson.



BILL OF MATERIALS

CUSTOMER: KIM HOOVER 610-792-4436 215-439-1705

DATE: 04/01/08 DESIGN: DECK08092 REF:

SALESMAN # JONATHAN

-----  
SUMMARY  
-----

LUMBER MATERIALS	\$ 2904.15	
OTHER MATERIALS	\$ 1910.80	
TOTAL	\$ 4814.95	(620.00 SQ FT, \$7.77 PER SQ FT)

PRICE VALID UNTIL 04/02/08.

-----  
DECK FASTENING SYSTEM  
-----

NAILS

-----  
WOOD TYPES USED IN DECK  
-----

DECK PLANKS	PRESSURE TREATED - COPPER AZOLE
JOISTS	PRESSURE TREATED - COPPER AZOLE
FASCIA	UNKNOWN
RIM BOARD	PRESSURE TREATED - COPPER AZOLE
BEAMS	PRESSURE TREATED - COPPER AZOLE
GROUND POSTS	PRESSURE TREATED - COPPER AZOLE
STRINGERS	PRESSURE TREATED - COPPER AZOLE
STAIR TREADS	PRESSURE TREATED - COPPER AZOLE
RAIL POSTS	PRESSURE TREATED - COPPER AZOLE
RAIL CAPS	UNKNOWN
RAIL SPINDLES	PRESSURE TREATED - COPPER AZOLE
OTHER RAIL MEMBERS	PRESSURE TREATED - COPPER AZOLE

4  
BILL OF MATERIALS --- LUMBER

CUSTOMER: KIM HOOVER 610-792-4436 215-439-1705

DATE: 04/01/08 DESIGN: DECK08092 REF:

SALESMAN # JONATHAN

COMPONENT	SKU	QUANTITY	DESCRIPTION	WOOD TYPE
DECKING	610PT	33 EA	5/4X6 10	PT
DECKING	68PT	24 EA	5/4X6 8	PT
DECKING	612PT	38 EA	5/4X6 12	PT
DECKING	614PT	15 EA	5/4X6 14	PT
DECKING	616PT	21 EA	5/4X6 16	PT
HORZ RAILS	2412PT	23 EA	2X4 12	PT
RAIL CAP	2612PT	12 EA	2X6 12	PT
RAIL POSTS	448DP	10 EA	4X4 8	448DP
STAIR POSTS	448DP	1 EA	4X4 8	448DP
STAIR STRINGER	228PT	8 EA	2X12 8	PT
STAIR TREAD	612PT	5 EA	5/4X6 12	PT
STAIR TREAD	68PT	7 EA	5/4X6 8	PT
STAIR STRINGER	2216PT	4 EA	2X12 16	PT
BEAMS	2120PT	2 EA	2X10 20	PT
BEAMS	2114PT	3 EA	2X10 14	PT
BEAMS	218PT	6 EA	2X10 8	PT
BEAMS	2116PT	2 EA	2X10 16	PT
BEAMS	2112PT	1 EA	2X10 12	PT
JOISTS	2110PT	13 EA	2X10 10	PT
JOISTS	218PT	9 EA	2X10 8	PT
JOISTS	2114PT	4 EA	2X10 14	PT
JOISTS	2120PT	17 EA	2X10 20	PT
JOISTS	2116PT	1 EA	2X10 16	PT
JOISTS	2112PT	2 EA	2X10 12	PT
RIM BOARD	2110PT	3 EA	2X10 10	PT
RIM BOARD	218PT	9 EA	2X10 8	PT
RIM BOARD	2114PT	5 EA	2X10 14	PT
GROUND POSTS	6612PT	1 EA	6X6 12	PT
GROUND POSTS	6616PT	3 EA	6X6 16	PT

## BILL OF MATERIALS --- OTHER MATERIALS

CUSTOMER: KIM HOOVER 610-792-4436 215-439-1705

DATE: 04/01/08 DESIGN: DECK08092 REF:

SALESMAN # JONATHAN

COMPONENT	SKU	QUANTITY	DESCRIPTION
LUS210Z	LUS210Z	60 EA	LUS210 2X10 ZMAX JOIST HANGER
PLASTICDCKFLASH	8PDL	6 EA	PLASTIC DECK FLASHNG
DRC	DRC	30 PK	DECOR RAIL CONNCTRS 2PK
LPC6Z	LPC6Z	42 EA	6X6 ZMAX POST/BEAM
ABE66Z	ABE66Z	21 EA	ABE66 6X6 ZMAX POST BASE
1212FT	1212FT	5 EA	12INX12' CONCRETE FORM TUBE
CM80	CM80	80 EA	BAG 80LB CONCRETE
126FT	126FT	1 EA	12INX6' CONCRETE FORM TUBE
224PT	224PT	169 EA	2X2X48IN PT BALUSTER
1LB 4D GJVSTNAIL	4870	3 BX	1LB BX 1-1/2IN GALV JST NAIL
5LB 16D PTNAILS	440-112	1 BX	5LB BOX 16D PT NAILS
1LB 16D PTNAILS	593-038	3 BX	1LB BOX 16D PT NAILS
5LB 2-1/2CERDKSCRW	4863	4 BX	5LB BX 2-1/2IN CER. DKSCRW
1LB 2-1/2CERDKSCRW	3879	3 BX	1LB BX 2-1/2IN CER. DKSCRW
1LB 3CERDKSCRW	4866	3 BX	1LB BX 3IN CER. DKSCRW
1/2IN WSHR BX	EE12GWBX	2 BX/50	1/2IN GALV WASHER
1/2IN NUT BX	EE12GNBX	2 BX/50	1/2IN GALV NUT
4-1/2IN LAG SCR BX	EE1245GLSBX	1 BX/25	1/2X4-1/2IN GALV LAG
6IN CARR BLT BX	EE126GCBX	3 BX/25	1/2X6IN GALV CARR
6IN CARR BLT	EE126GCB	10 EA	1/2X6IN GALV CARR
LEAD ANCHOR BX	EE12LALBX	1 BX/25	1/2IN ANCHOR LONG





# INTER-OFFICE RECEIPT TRANSMITTAL

Name: \_\_\_\_\_

Date: 4/07/08

Development: \_\_\_\_\_

Lot #: \_\_\_\_\_

Location: 200f Willowwood Dr.

B \_\_\_\_\_ U \_\_\_\_\_

Check #: \_\_\_\_\_

107 - Cont. Reg. \_\_\_\_\_

Commercial or Residential: Deck

113 - Solicitation \_\_\_\_\_

Sq. Ft.: 620

109 - Home Occup. Permit \_\_\_\_\_

Cost of Improvement: \_\_\_\_\_

114 - Trailer Park \_\_\_\_\_

101 - Building Permit \$ 217.00

801 - Highway Occup. Permit \_\_\_\_\_

Cost for Electrical \_\_\_\_\_

115 - Zoning Permit \_\_\_\_\_

102 - Electrical Permit \_\_\_\_\_

108 - Sign Permit \_\_\_\_\_

Number of Plumbing Fixtures: \_\_\_\_\_

110 - Zoning Hearing \_\_\_\_\_

103 - Plumbing Permit \_\_\_\_\_

116 - Petition to Re-Zone \_\_\_\_\_

104 - Use & Occup. Permit: \_\_\_\_\_

904 - Conditional Use Hearing \_\_\_\_\_

Cost for Mechanical: \_\_\_\_\_

111 - Sale of Codes/Maps \_\_\_\_\_

105 - Mechanical Permit: \_\_\_\_\_

901 - Copying Fees \_\_\_\_\_

122 - Training Fee: \$ 4.00

117 - Alarm Permit \_\_\_\_\_

119 - Building Plan Review: \_\_\_\_\_

106 - Grading Permit \_\_\_\_\_

Other \_\_\_\_\_

716 - Grading Application Escrow \_\_\_\_\_

Money Received for the funds listed below MUST be on separate Checks.

701 - Road Improvement: \_\_\_\_\_

702 - Act 209: \_\_\_\_\_

703 - Lewis Road: \_\_\_\_\_

708 - Open Space: \_\_\_\_\_

TOTAL \$ 221.00

Kim L Hoover 06-04  
Marian R Hoover

Date 4/7/2008 366

Pay to the Order of LIMERICK TOWNSHIP \$ 221.00

Two hundred twenty one & 00/100 Dollars

**Commerce Bank** America's Most Convenient Bank®  
1-800-YES-2000

For DECK PERMIT Kim L Hoover MP

LIMERICK TOWNSHIP  
APPLICATION FOR GRADING PERMIT

Application No. GA - **2081**



This application must be accompanied by plans and fees and submitted to the Township Engineer's Office; Application number will be assigned upon submission.

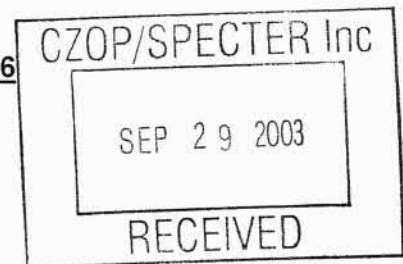
**34A/46**

Location of Grading Permit Activity

At (Address) **2008 WILLOWWOOD DRIVE**

Between **Royersford Road** and **Linfield-Trappe Road**  
Cross Street Cross Street

Subdivision/Land Development **Ashbrook Estates** lot(s) **#46**



Grading Plan (attach three (3) copies)

Title **Building Permit Plan – Lot #46**

Preparer's Name **Carroll Engineering**

Date **09/24/2003**

Last Revised

**10/7/03**

The plan shall show all of the following information or the application will automatically be denied: present contours, proposed contours, lot lines, minimum building setback lines, streets, driveway(s), building(s) with finish floor and garage floor elevations (basement floor if a walk-out basement), trees over 8" in diameter, details and location of proposed drainage facilities. All plans shall be dated and bare the name of (1) person who prepared plan, (2) the applicant, (3) the owner of the land. (See attached sample)

Erosion and Sedimentation Control

If an erosion and sedimentation control plan has not been previously approved, it must accompany this application.

Erosion and sedimentation control plan has been previously approved:

Title **Erosion and Sedimentation Control Plan – Ashbrook Estates for Heritage Building Group, Inc.**

Date **11-08-01**

Date Approved **03-18-02**

Erosion and sedimentation control plan attached: **No**

Drainage Study

• Previously Approved **12-18-01** Copy Attached **No**  
Date

Estimated Dates of Activity

Starting Date **10/3/03** Completion Date **01/03/04**

Purpose

State the purpose for which the grading application is filed.  
Construction of a Single Family Home

Permit Fee

Compute the appropriate permit fee and escrow amount from the attached Fee and Escrow Schedule and submit separate checks with this application. All checks made payable to Limerick Township.

**\$25**

**\$150**

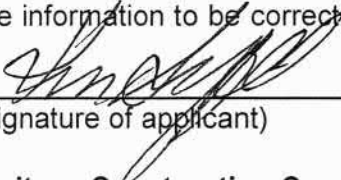
Permit Fee

Escrow Amount

Clean Fill

No grading permit shall be issued for the filling of materials other than clean fill.

I hereby certify the above information to be correct and hereby state that the work to be performed will be as presented herein.

  
(Signature of applicant)

**Heritage Construction Company**

(Name of applicant)

**50 Sunnybrook Road**

**Pottstown, PA 19464**

(Address)

**(484) 944-5677**

(Telephone)

Engineer's Recommendation: ✓ Approval \_\_\_\_\_ Denial \_\_\_\_\_

Comments: APPROVED AS REVISED 10/7/03

Permit Fee Paid \$ 25.00 Escrow Amount \$ 150.00

Permit Number: GR-2081 Date Issued 10/7/03

Township Engineer's Signature: 

Note: This application, when approved and signed, is your permit. It must be accompanied by the approved permit plan.

Punch List Inspection Date \_\_\_\_\_

Comments \_\_\_\_\_

I certify that final grading is in compliance with approved plan and certificate of occupancy can be issued.

Signature \_\_\_\_\_ Date \_\_\_\_\_

I recommend that \$ \_\_\_\_\_ be placed in escrow to guarantee completion of "Punch List" items by April 30th and that a certificate of occupancy be issued upon the posting of said escrow.

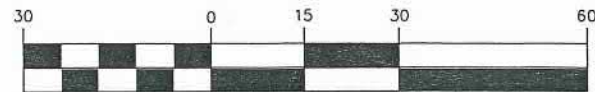
Signature \_\_\_\_\_ Date \_\_\_\_\_

I certify that "Punch List" items have been satisfactorily addressed and escrow monies can be released.

Signature \_\_\_\_\_ Date \_\_\_\_\_



# GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



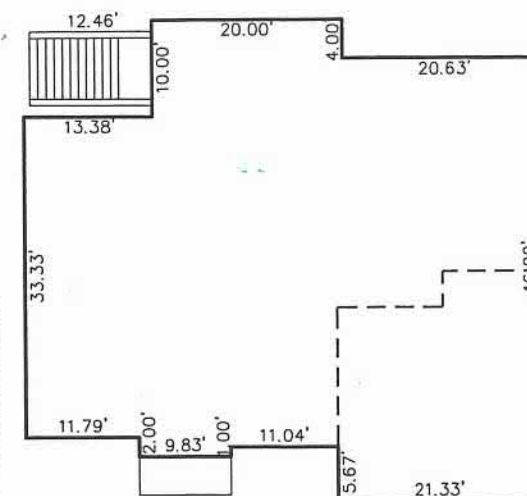
THIS AREA TO BE  
DEED RESTRICTED  
TO REMAIN OPEN

BARRINGTON  
GRAND MANOR  
BRICK  
SOLARIUM  
9' BASEMENT WALLS  
WALK-UP BASEMENT STAIRS

F.F. = 241.50  
T.W. = 240.54  
G.F. = 239.83  
F.G. = 239.2  
B.F. = 231.87

DB 5129 PG 1188 BLOCK  
54 UNIT 1 PARCEL #  
37-00-04417-001 N/L  
HENRY W. REIFSNEIDER

SEP 26 2003



## BUILDING DIMENSIONS

SCALE: 1" = 20'

### NOTES:

- 1) SITE INFORMATION WAS OBTAINED FROM PLANS PREPARED BY BURSICH ASSOCIATES, INC., ENTITLED "FINAL PLAN, ASHBROOK ESTATES", DATED 11-8-01, AND LAST REVISED 6-4-02.
- 2) BUILDING DIMENSIONS SHOWN ARE NOT TO BE UTILIZED TO CONSTRUCT BUILDING. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION INFORMATION.
- 3) LOT AREA: 28,063 SQUARE FEET.

## BUILDING PERMIT PLAN

LOT #46  
ASHBROOK ESTATES

SITUATED IN  
LIMERICK TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

PREPARED FOR  
HERITAGE CONSTRUCTION COMPANY  
3326 OLD YORK ROAD-SUITE A 100  
FURLONG, PENNSYLVANIA 18925

Carroll Engineering Corporation

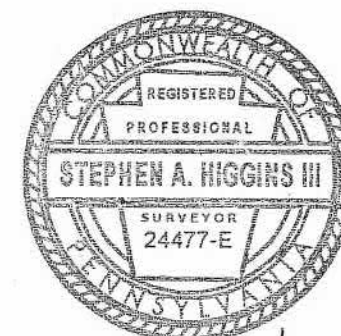
949 Easton Road  
Warrington, PA 18976  
Phone: 215-343-5700  
Fax: 215-343-0875



555 Second Avenue, Suite G-101  
Collegeville, PA 19426  
Phone: 610-489-5100  
Fax: 610-489-2674

www.carrollengineering.com

DSG BY	DATE	9-24-03	DRAWER NUMBER
DWN BY	J.J.C.	JOB NO	02-1251.00
CKD BY	S.A.H.	SCALE	1"=30'
		SHEET	1 OF 1 SHEETS



STEPHEN A. HIGGINS, III SU-24477-E

NO.	DATE	DESCRIPTION	INITIALS
4			
3			
2			
1	10/1/03	238' CONTOUR; SPOT ELEV.	AWB

R=175.00'  
L=74.38'

WILLOWOOD DRIVE



## Patricia Ramsey

---

**From:** Samuel Guarnieri <[sguarnieri@Pennoni.com](mailto:sguarnieri@Pennoni.com)>  
**Sent:** Tuesday, November 28, 2017 4:33 PM  
**To:** Patricia Ramsey  
**Subject:** RE: Pre-Disturbance E&S Inspection: 2008 Willowwood Dr  
**Attachments:** 2008 Willowwood Dr Permit.pdf

Patty,

Per your request and in accordance with the requirements set forth in Drainage Permit #16-0473 (attached), we have conducted the final site drainage inspection for the above referenced property. The disturbed areas have been adequately stabilized and the conditions set forth in the above referenced Drainage Permit have been adequately satisfied.

Thanks,

**Samuel Guarnieri**

### **Pennoni**

3100 Horizon Drive, Suite 200 | King of Prussia, PA 19406

**Direct:** 610-422-2388

[www.pennoni.com](http://www.pennoni.com) | [sguarnieri@Pennoni.com](mailto:sguarnieri@Pennoni.com)

**From:** Samuel Guarnieri  
**Sent:** Wednesday, August 24, 2016 2:32 PM  
**To:** John Kleba <[john@eaglepoolspa.com](mailto:john@eaglepoolspa.com)>  
**Cc:** Greta Martin Washington ([GretaMartinWashington@limerickpa.org](mailto:GretaMartinWashington@limerickpa.org)) <[GretaMartinWashington@limerickpa.org](mailto:GretaMartinWashington@limerickpa.org)>; 'MEgan@limerickpa.org' <[MEgan@limerickpa.org](mailto:MEgan@limerickpa.org)>; 'PRamsey@limerickpa.org' <[PRamsey@limerickpa.org](mailto:PRamsey@limerickpa.org)>; Joseph Antonelli <[jantonelli@limerickpa.org](mailto:jantonelli@limerickpa.org)>; Shawn Naftzinger <[snaftzinger@limerickpa.org](mailto:snaftzinger@limerickpa.org)>; Khaled R. Hassan <[KHassan@Pennoni.com](mailto:KHassan@Pennoni.com)>; Theodore Dmytryk <[TDmytryk@Pennoni.com](mailto:TDmytryk@Pennoni.com)>; Matthew McAloon <[MMcAloon@Pennoni.com](mailto:MMcAloon@Pennoni.com)>  
**Subject:** RE: Pre-Disturbance E&S Inspection: 2008 Willowwood Dr

John,

The E&S controls have been sufficiently installed at the 2008 Willowwood Dr Road site. It shall be noted that this does not exclude the possibility that further E&S controls may be required further into construction if excess runoff leaving the site becomes an issue. The E&S controls shall remain in place until the disturbed area is permanently stabilized (70% vegetative cover).

In accordance with the attached drainage permit, please notify us for a final site drainage inspection when the proposed improvements have been completed. Please schedule the final drainage inspection 10 days in advance of the desired issuance of a building Certificate of Occupancy.

Any questions, please advise.

Thanks

**From:** Samuel Guarnieri

**Sent:** Thursday, August 04, 2016 7:19 AM

**To:** 'John Kleba' <[john@eaglepoolspa.com](mailto:john@eaglepoolspa.com)>

**Cc:** Greta Martin Washington ([GretaMartinWashington@limerickpa.org](mailto:GretaMartinWashington@limerickpa.org)) <[GretaMartinWashington@limerickpa.org](mailto:GretaMartinWashington@limerickpa.org)>; 'MEgan@limerickpa.org' <[MEgan@limerickpa.org](mailto:MEgan@limerickpa.org)>; 'Joseph Antonelli' <[jantonelli@limerickpa.org](mailto:jantonelli@limerickpa.org)>; 'Shawn Naftzinger' <[snaftzinger@limerickpa.org](mailto:snaftzinger@limerickpa.org)>; Khaled R. Hassan <[KHassan@Pennoni.com](mailto:KHassan@Pennoni.com)>; Theodore Dmytryk <[TDmytryk@Pennoni.com](mailto:TDmytryk@Pennoni.com)>

**Subject:** Pre-Disturbance E&S Inspection: 2008 Willowwood Dr

John,

We have received a copy of the issued drainage permit for the 2008 Willowwood Dr project. In accordance with Permit 16-0473 (attached), please let us know when you plan to have the E&S controls installed so that we can schedule our required pre-disturbance inspection to ensure all E&S controls have been set effectively & in accordance with the approved permit plan.

Thanks,



## Township of Limerick

646 W. Ridge Pike  
Limerick, PA 19468  
(610) 495-0951  
Fax: (610) 495-0952

### Certificate of Occupancy

**Building Permit #** 17-0325

**Permit Type:** UCC Permit for Residential Accessory

**Property Address:** 2008 WILLOWWOOD DR

**Block:** 054A

**Unit:** 046

**Subdivision/LD:** 01-20 Ashbrook Estates

**Building Code Edition:** 2009 IRC

**Use Group:** R-3

**Land Use:** Cluster

**Construction Type:** VB

**Building Use:** Single Family Dwelling

**Description of Structure:** Shed

**Automatic Sprinkler System:** N/A

**Automatic Sprinkler System Required:** No

Owner: HOOVER KIM L & MARIAN R,  
2008 WILLOWWOOD DR

Royersford PA 19468

Permit Applicant: Pine Creek Structures, Inc.,  
207 W. Ridge Pike

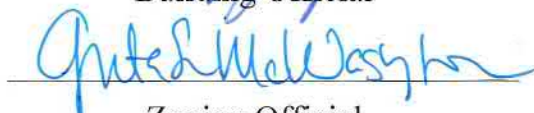
Limerick PA 19468

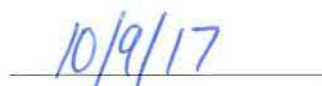
Conditions:

Board of Appeals Decision:

Permission is hereby granted to occupy the said description of structure/permit type at the above listed property address in accordance with, and subject to, the provisions of the PA Uniform Construction Code, building codes, public works standards, fire codes, and zoning ordinance.

  
\_\_\_\_\_  
Building Official

  
\_\_\_\_\_  
Zoning Official

  
\_\_\_\_\_  
Final Inspection

  
\_\_\_\_\_  
Issue Date



## UCC Permit for Swimming Pool

**Limerick Township****646 W. Ridge Pike  
Limerick, PA 19468**

Phone: 610-495-6432 Fax: 610-495-0952

**Department Use Only**

Permit #: 16-0499

Approved Date: 08/10/2016

Issued By: Robert Loeper, Jr.

**Property Information****Business Name:**  
**Address:** 2008 WILLOWOOD DR  
**City/State/Zip:** ROYERSFORD PA  
**Zoning District:** R-2 Low Density District  
**Parcel/Block/Unit/Lot:** 370005337152 054A 0046**Building Information****Construction Type:** VB  
**Use Group:** U  
**Building Use Area (SF):** N/A  
**Land Use:** Cluster  
**Land Dev./Subdivision:** 01-20 Ashbrook Estates**Applicant Information****Name:** Eagle Pool and Spa, Inc.,  
**Address:** 3246 Ridge Pike  
**City/State/Zip:** Eagleville PA 19403  
**Telephone:** 610-631-1950**Owner Information****Name:** HOOVER KIM L & MARIAN R,  
**Address:** 2008 WILLOWOOD DR  
**City/State/Zip:** Royersford PA 19468  
**Telephone:** 610-792-4436

Every applicant to whom a Permit has been issued hereunder shall comply with the following conditions and rules of conduct:

- A. Construction entrance to the site SHALL be taken through the existing driveway unless a Township Road Opening Permit had been issued by the Roadmaster
- B. The issuance of this permit does not release the applicant from the conditions/restrictions of any approved su
- C. See Construction Inspections Required schedule, issued with this permit. Permit shall be posted until final inspection has been made.
- D. Permit will become null and void if construction work is not started within six months of the date of the permit is issued as noted above.
- E. The applicant is responsible for keeping the roadway free from mud and debris during the construction period.
- F. All materials shall be stored on site and NOT within the legal right-of-way of the road. Any damage to the Roadway or adjacent curb and sidewalk will be required to be repaired by the homeowner at his/her expense. Method of repair shall be coordinate with and approved by the Road master prior to the final inspection of the pool.
- G. The backwash line shall be directed to discharge to the street and not onto adjacent properties.
- H. The pool cannot be filled with water until the fence or approved barrier has been installed and inspected by the Township.

Maintenance: Discharge of chlorinate swimming pool water into surface waters or Township's storm sewer system IS PROHIBITED. Only de-chlorinated swimming pool discharges are permitted.

All ladders servicing an above ground pool shall be locked in the upright position or removed from the pool and stored in an inaccessible position (stored at least four feet above ground or secured in a locked storage unit).

**Description of Work:****Project Cost:** 36,595.00

Installation of a vinyl liner inground swimming pool per plans submitted and Limerick Township building/zoning regulations. CONDITIONS: The location of proposed pool shall not affect the positive drainage of runoff from this lot and adjacent lots to a nearby inlet, wetland area, or basin by way of drainage swale. A private water source shall be used to fill the pool; the use of fire hydrants for this use is prohibited. All access doors to the pool area/deck from the dwelling shall be equipped with a door alarm/buzzer. Third Party Electrical Inspection required prior to final Township inspection.

**Permit Fees**

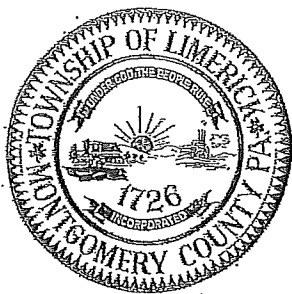
Description	Work Being Done By	Units	Sum
Electrical - Residential	Eagle Pool and Spa, Inc.,	2,000	40.00
PA UCC Training Fee	3246 Ridge Pike	0	4.00
Swimming Pool (in ground)	Eagleville PA 19403	36,595	796.90

Signature:

Date:

8/10/16

**Grand Total:****840.90**



# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT  
646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX 610-495-0952  
WWW.LIMERICKPA.ORG

## RESIDENTIAL CONSTRUCTION INSPECTIONS REQUIRED

Property Address 2008 Willowood Dr

Permit No. 16. 0499

Residential Inspections are made Monday thru Friday - 9:00 am to 3:00 pm.

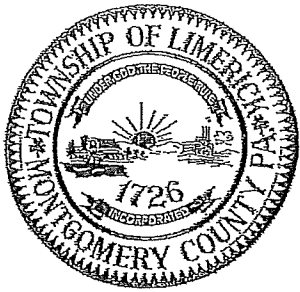
All inspections require 24 hour notice. Call 610-495-6432 to schedule an inspection.

\*Other inspections may be required depending on project requirements.

\*\*All electrical inspections are required to be completed by a Certified Third Party Inspection Agency.

REQUIRED INSPECTION	DESCRIPTION	
<input checked="" type="checkbox"/> <i>Pre Concrete Pour</i>	1.	Footing Inspection - Inspection performed <u>BEFORE</u> concrete is poured.  NOTE: For new dwellings, <u>Limerick Township House/Building Placement Form</u> must be completed by a responsible professional and ready to submit to the inspector at the time of inspection.
<input type="checkbox"/>	2.	Foundation Pre-Pour Inspection-Inspection performed prior to placing concrete. All forms, rebar and any other related items should be in place.
<input type="checkbox"/>	3.	Foundation Backfill Inspection - Inspection performed after foundation wall is constructed and damp-proofed. Perimeter drain, if applicable.
<input type="checkbox"/>	4.	Concrete Slab Pre-Pour Inspection-Inspection performed prior to placing concrete. <input type="checkbox"/> Basement <input type="checkbox"/> Garage
<input type="checkbox"/>	5.	**Electric Service Inspection - **Third Party Agency approval. Please submit inspection verification to the Township.
<input type="checkbox"/>	6.	Water Service Connection Inspection & Approval - Inspection performed <u>BEFORE</u> backfilling the trench. Pipe must be visible. (performed by PA American, call Bob @ 610-495-3080)  <input type="checkbox"/> Service(s) <input type="checkbox"/> Meter
<input type="checkbox"/>	7.	Building Sewer Connection Inspection & Approval - Inspection performed <u>BEFORE</u> backfilling the trench. Pipe must be visible. (performed by Township Sewer Department, call Patty @ 610-948-5750).  NOTE: Water Service & Building Sewer Inspections can be performed concurrently.
<input type="checkbox"/>	8.	Rough Plumbing Inspection - Air or Water test is required. Inspection performed <u>BEFORE</u> insulation installation. <input type="checkbox"/> Under-Slab Inspection
<input checked="" type="checkbox"/>	9.	**Rough Electrical Inspection - **Third Party Agency approval. Inspection performed <u>BEFORE</u> all other rough inspections and before insulation installation. Please submit inspection verification to the Township.
<input type="checkbox"/>	10.	Rough Mechanical Inspection - Inspection performed <u>BEFORE</u> insulation installation.
<input type="checkbox"/>	11.	Rough Framing Inspection - Inspection performed <u>BEFORE</u> insulation installation. NOTE: Rough Framing, Plumbing, Mechanical, & Fire Caulk Inspections can be performed concurrently.
<input type="checkbox"/>	12.	Energy/Insulation Inspection - Residential per 2009 IRC Table N1102.4.2





# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT  
646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX 610-495-0952  
WWW.LIMERICKPA.ORG

## RESIDENTIAL CONSTRUCTION INSPECTIONS REQUIRED

REQUIRED INSPECTION	DESCRIPTION	
<input type="checkbox"/>	13.	Wallboard Inspection -- Inspection performed during wallboard installation. Prior to taping or spackle application.
<input type="checkbox"/>	14.	Final Plumbing Inspection
<input checked="" type="checkbox"/>	15.	**Final Electrical Inspection (**Third Party Agency approval required. Please submit inspection verification to the Township.)
<input type="checkbox"/>	16.	Final Mechanical Inspection
<input type="checkbox"/>	17.	Other Items <ul style="list-style-type: none"> <li><input type="checkbox"/> Blower Door test</li> <li><input type="checkbox"/> Duct Blasting test</li> <li><input type="checkbox"/> Road Opening Permit</li> <li><input checked="" type="checkbox"/> As-built plan or Building Placement Form approved by Twp. Engr.</li> <li><input checked="" type="checkbox"/> CD of all As-built drawings, reports &amp; 3<sup>rd</sup> Party inspections</li> <li><input checked="" type="checkbox"/> MC Dept. Of Health -- approvals for use of on-lot water and on-lot sewer is required.</li> </ul>
<input checked="" type="checkbox"/>	18.	Final Inspection - Certificate of Occupancy  *A certificate of occupancy will NOT be issued without the appropriate paperwork submitted by all required agencies for items listed above, as applicable.  *Limerick Township does NOT issue Temporary Certificates of Occupancy.



# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468

## ADMINISTRATION OFFICES

PHONE: (610) 495-6432  
FAX: (610) 495-0952  
EMERGENCY: 911  
www.limerickpa.org

ROBERT F. LOEPER, JR.  
DIRECTOR OF CODE SERVICES

## UNIFORM CONSTRUCTION CODE APPLICATION FOR: RESIDENTIAL CONSTRUCTION



### 1. PROJECT INFORMATION:

<input type="checkbox"/> New Structure	<input type="checkbox"/> Addition	<input type="checkbox"/> Alteration	<input type="checkbox"/> Demolition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Alternative Energy <input checked="" type="checkbox"/> Swimming Pool, Spa, or Hot Tub <input type="checkbox"/> Other:				
Description of Work: <u>Install an 18'x36' vinyl liner inground swimming pool.</u>				

Attach additional information as needed

### 2. PROPERTY INFORMATION:

Site Address:	<u>2008</u>	<u>Willowwood Dr.</u>	<u>Royceford, PA</u>	<u>19468</u>
Tax Parcel #:				
Utilities:	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Private Well	<input checked="" type="checkbox"/> Public Sewer	<input type="checkbox"/> Private Septic
Is Any Portion of the Property in a Flood Hazard Area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Does the Property Have Any Easements, Right-Of-Ways, or Other Restrictions?	<u>NO</u>			

Owner:	<u>Kim + Marion Hoover</u>	Phone:	<u>215.439.1705</u>	Email:	
Mail Address:	<u>2008</u>	<u>Willowwood Dr.</u>	<u>Royceford, PA</u>	<u>19468</u>	
Authorized Agent (General Contractor, Building Manager, etc.):	<u>John Kieba, GM Eagle Pools &amp; Spa, Inc.</u>				
Phone #:	<u>610.888.9682</u>	Fax #:	<u>610.631.1210</u>	Email:	<u>John@EaglePools.com</u>
Mail Address:	<u>3246</u>	<u>Ridge Pike</u>	<u>Englewood, PA</u>	<u>19403</u>	

### 3. BUILDING GENERAL INFORMATION:

Description of Building Use:			
Building Height:	Stories Above Grade Plane:	Access to a State Highway:	
Automatic Fire Sprinkler System:	Other Fire Suppression:		
Fire Alarm System:	Security Alarm System:		
Project Associated with a Manufactured Home (mobile home, trailer, etc)?			
Elevator:	Propane or LPG:	Existing Area (sq/ft):	Proposed Area (sq/ft):
Other Regulatory or Governing Entities?			

### 4. BUILDING SYSTEM INFORMATION:

Electrical:						
Service Size:	Service Voltage:	Utility Company:				
Backup Generator:	Photovoltaic (solar):	Turbine/wind:				
Mechanical:						
Fuel:	<input type="checkbox"/> Nat Gas	<input type="checkbox"/> LPG	<input type="checkbox"/> Fuel Oil	<input type="checkbox"/> Waste Oil	<input type="checkbox"/> Electric	<input type="checkbox"/> Other:
Wood/Solid Fuel Appliance:	Exterior Grill or Cooking Appliance:					

**Plumbing:****Fixture Type and Quantity**

Clothes Washer:		Bathtub:		Floor Drain:	
Comb. Sink & Tray:		Dental Lav:		Dental Cuspidor:	
Dishwasher:		Bidet:		Drinking Fountain:	
Floor Sink:		Laundry Tray:		Kitchen Sink:	
Service Sink:		Lavatory:		Shower:	
Other Sink:		Urinal:		Wash Sink:	
Water Closet:		Other:		<b>TOTAL:</b>	

**5. APPLICATION SUBMISSION REQUIREMENTS** *(check after reading)*

- ☐ This PA UCC application is considered denied until all other approvals have been provided for. This includes but is not limited to: Zoning; Land Development; Grading; PennDOT Highway Occupancy; PA Dept of Labor and Industry; Montgomery County Health Department, etc
- ☐ Two sets of construction documents submitted for review shall be submitted on a minimum of 24"x36" (ARCH D) size. Additional copies and other documents or approvals may be requested at the determination of the Building Code Official or designee.

**6. CONSTRUCTION VALUATION**

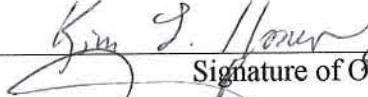
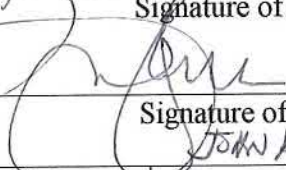
General Site/Building:		Electrical:	1950.00	Mechanical:	
Plumbing:		Fire:		Other:	
				Total:	38,545.00 *

**7. CERTIFICATION**

The applicant hereby certifies that all information on this application is correct and the work will be completed in accordance with the "approved" construction documents and PA Act 45 of 1999 (Pennsylvania Uniform Construction Code) and all other applicable laws of this jurisdiction. The applicant also certifies that the content of the certificate of Workers Compensation Insurance or Affidavit on file with Limerick Township is still in effect with no changes in coverage.

I hereby state the above facts and statements, including any attachments, are to the best of my knowledge, accurate and complete. I further understand that any falsification of information or an incomplete application may be considered reason to deny or reject the application and that the false statements herein are made subject to the penalties of PA Cons. Stat. 4904 relating to un-sworn falsification to authorities.

I certify that the code administrator or the code administrator's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such application and permit(s).

	8-3-16	
Signature of Owner	Date	
	8-3-16	
Signature of Agent	Date	
JOHN KIEREN 6M Edge Park & Son, Inc.		
Point of Contact:	Email:	
Phone #:	Cell #:	Fax #:

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**TOWNSHIP USE ONLY BELOW THIS LINE**Zoning: 

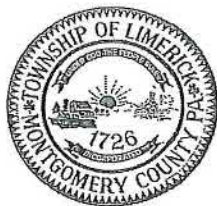
EDU:

UCC: 

Fire:

Permit #





# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468

ADMINISTRATION OFFICES

PHONE: (610) 495-6432

FAX: (610) 495-0952

EMERGENCY: 911

www.limerickpa.org

ROBERT F. LOEPER, JR.  
DIRECTOR OF CODE SERVICES

RECEIVED  
AUG 9 2016  
LIMERICK TOWNSHIP

## APPLICATION FOR ELECTRICAL PERMIT

Job Location: 2008 Willowood Dr. Royersford PA 19468

Suite \_\_\_\_\_ Floor \_\_\_\_\_ Tenant \_\_\_\_\_

Property Owner: \_\_\_\_\_

Address: 2008 Willowood Dr. Royersford PA 19468

Phone # \_\_\_\_\_

Electrical Contractor: Ringier Rocks Electric - Bud Light Cap - HIC#PA 005336

Address: 2985 Linfield Rd. Pottstown, PA 19464

Phone # 610-326-9190 Fax: 610-718-0573

Inspection Agency: Underwriters Inspection Services, Inc. (U.I.S.)

Cost of Work: \_\_\_\_\_ Description of Work: Electrical wiring Installation  
for New In-Ground Swimming Pool, Including Equipotential Bonding.  
60 Amp Sub Panel

Permit Fee: RESIDENTIAL: \_\_\_\_\_ NON-RESIDENTIAL: \_\_\_\_\_

NON-RESIDENTIAL WORK REQUIRES 2 SETS OF SIGNED & SEALED PLANS.

ALL WORK SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE.

ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL INSPECTIONS.

\_\_\_\_\_  
Electrical Contractor

\_\_\_\_\_  
Date



# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468

## ADMINISTRATION OFFICES

PHONE: (610) 495-6432

FAX: (610) 495-0952

EMERGENCY: 911

www.limerickpa.org

ROBERT F. LOEPER, JR.  
DIRECTOR OF CODE SERVICES

### APPLICATION FOR ELECTRICAL PERMIT

Job Location: 2008 Willowwood DR.

Suite \_\_\_\_\_ Floor \_\_\_\_\_ Tenant \_\_\_\_\_

Property Owner: KIM & MARION HOOVER

Address: 2008 Willowwood DR. Royersford, PA. 19468

Phone # 215.439.1705

Electrical Contractor: Ringier Rocks Electric

Address: 2985 Linfield Rd. Pottstown, PA. 19464

Phone # 610.326.9190

Inspection Agency: Underwriters

Cost of Work: 1,950.00 Description of Work: Wire pool equipment  
per attached diagram

Permit Fee: RESIDENTIAL: X NON-RESIDENTIAL: \_\_\_\_\_

NON-RESIDENTIAL WORK REQUIRES 2 SETS OF SIGNED & SEALED PLANS.

ALL WORK SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE.

ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL INSPECTIONS.

Electrical Contractor

8-3-16  
Date

Code Inspections, Inc.  
605 Horsham Road - Pottsville, PA 19044  
**DUPLICATE ELECTRICAL APPROVAL**

0499

Municipal Confirmation Only / Not a Utility Cut-In Card

Owner's Name \_\_\_\_\_ Job # **J-164806**  
Job Location **2008 Willow Wood Dr** Town / Twp. **Royersford**  
Equipment \_\_\_\_\_ **(Limerick Twp) /**  
**pool and perimeter bonding**

Contractor's Name **Marks Pools**

Permit #: **16-0499**

Service Approval Date:

Rough Approval Date:

Inspector's Name **Tom Stafford**

Final Approval Date: **09/12/2016**



## UNDERWRITER INSPECTION SERVICES, INC.

P.O. Box 416 • ROYERSFORD, PA 19468  
OFFICE: (610) 495-2803 • FAX: (610) 495-6736  
LABOR & INDUSTRY CERTIFICATION No. A15



## UNDERWRITER INSPECTION SERVICE, INC.

**MICHAEL JOHN**  
INSPECTOR

— MEMBER OF —  
PENBOC, IAEI, ICC  
L & I CERT. No. 0005679

P.O. Box 416  
Royersford, PA 19468  
PHONE: 610.495.2803  
FAX: 610.495.6736

Limerick Township  
Underwriter Inspection Service, Inc. In Ground  
P.O. Box 416, Royersford, PA 19468  
\*UIS. Did Electrical Municipal Duplicate Certificate "Steel" Bonding  
Plan Review\* Inspection  
Permit No. \_\_\_\_\_ UIS Job No. MM0506

Owner Ray Sickinger

Location 2008 Willowwood Dr. Royersford, PA 19468

Installation Consisting of In-Ground Swimming Pool

"Steel" "Form" Bonding Inspection; Prior to Concrete Deck Pour

Installed By Ringin Rocks Electric Lic# \_\_\_\_\_

The conditions following governed the issuance of this certificate, and any certificate previously issued is canceled. This certificate only covers the electrical equipment and installation conditions as of date.

Upon the introduction of additional equipment or alterations, application shall be promptly made for inspection. Inspectors of this Company shall have the privilege of making inspections at any time, and if its rules are violated, the company shall have the right to revoke this certificate.

Date 9/14/16

Inspector

Member of I.A.E.I., ICC

Michael John

Mark J. John

L & I Cert. #000268

Invoice Bud  
Lightcap



Electrical Plan Review

Mark John 8/8/16

MJ 7395



Tel: 610-326-9190  
Fax: 610-718-0573

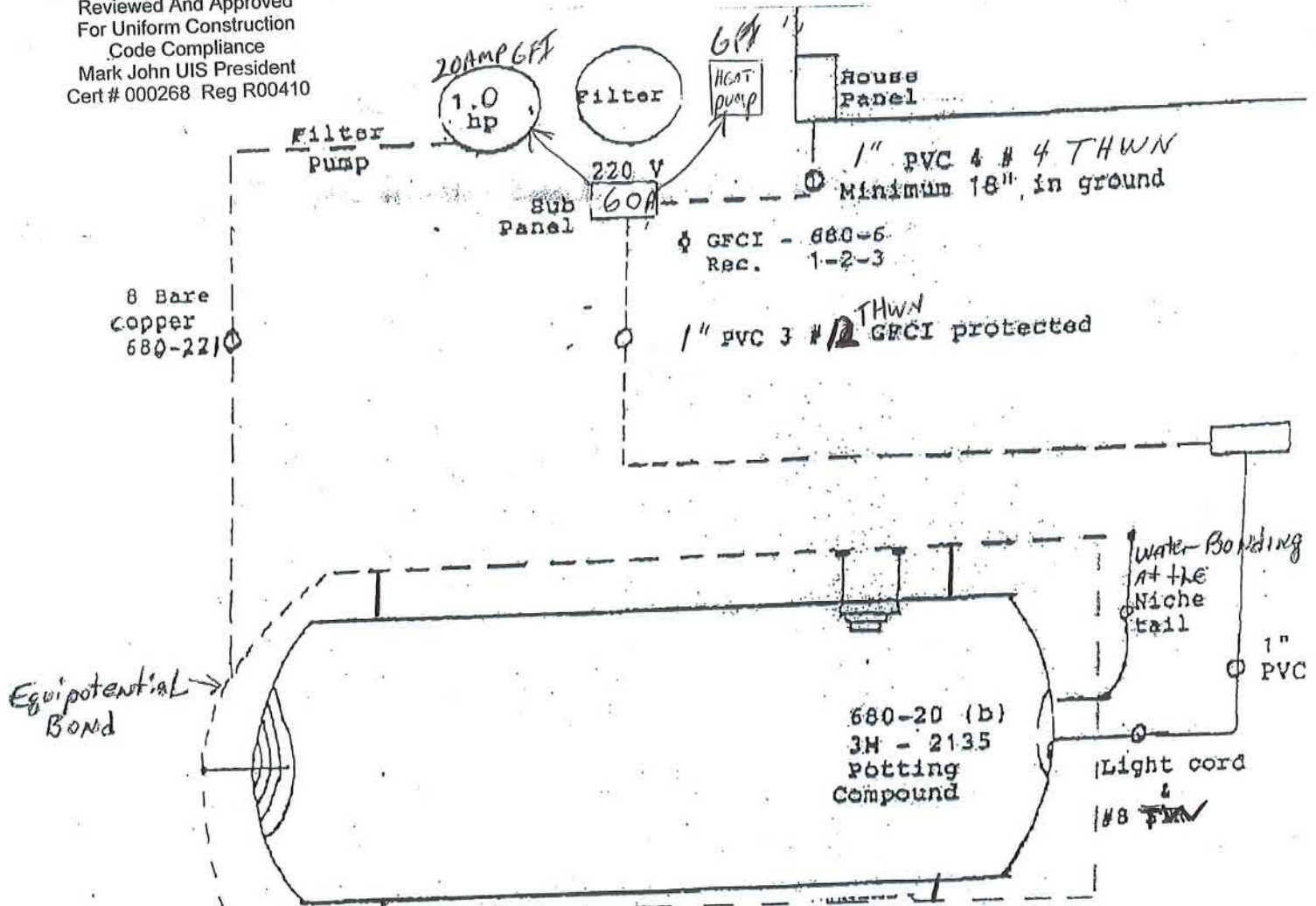
**RINGING ROCKS ELECTRIC**  
Residential / Commercial Electrical Contractor  
Electric Service Upgrades  
Pools and Spa Wiring

HIC # PA 005336

UIS A-15  
These plans / Documents were  
Reviewed And Approved  
For Uniform Construction  
Code Compliance  
Mark John UIS President  
Cert # 000268 Reg R00410

Bud Lightcap  
Owner / Electrician

2985 Linfield Road  
Pottstown, PA 19464



ALL WIRING SHALL BE INSTALLED ACCORDING TO ARTICLE 680 OF THE NATIONAL ELECTRICAL CODE.

**RECEIVED**

AUG 9 2016

LIMERICK TOWNSHIP

**EAGLE POOL & SPA, INC.**

The Home Relaxation Specialist  
3246 Ridge Pike • Norristown (Eagleville), PA 19403  
610-631-1950 • www.eaglepoolspa.com

2008 Willowood Dr.  
Royersford PA 19468  
Limerick twp



Electrical Plan Review  
 Mark John 8/8/16  
 ME7395



Tel: 610-326-9190  
 Fax: 610-718-0573

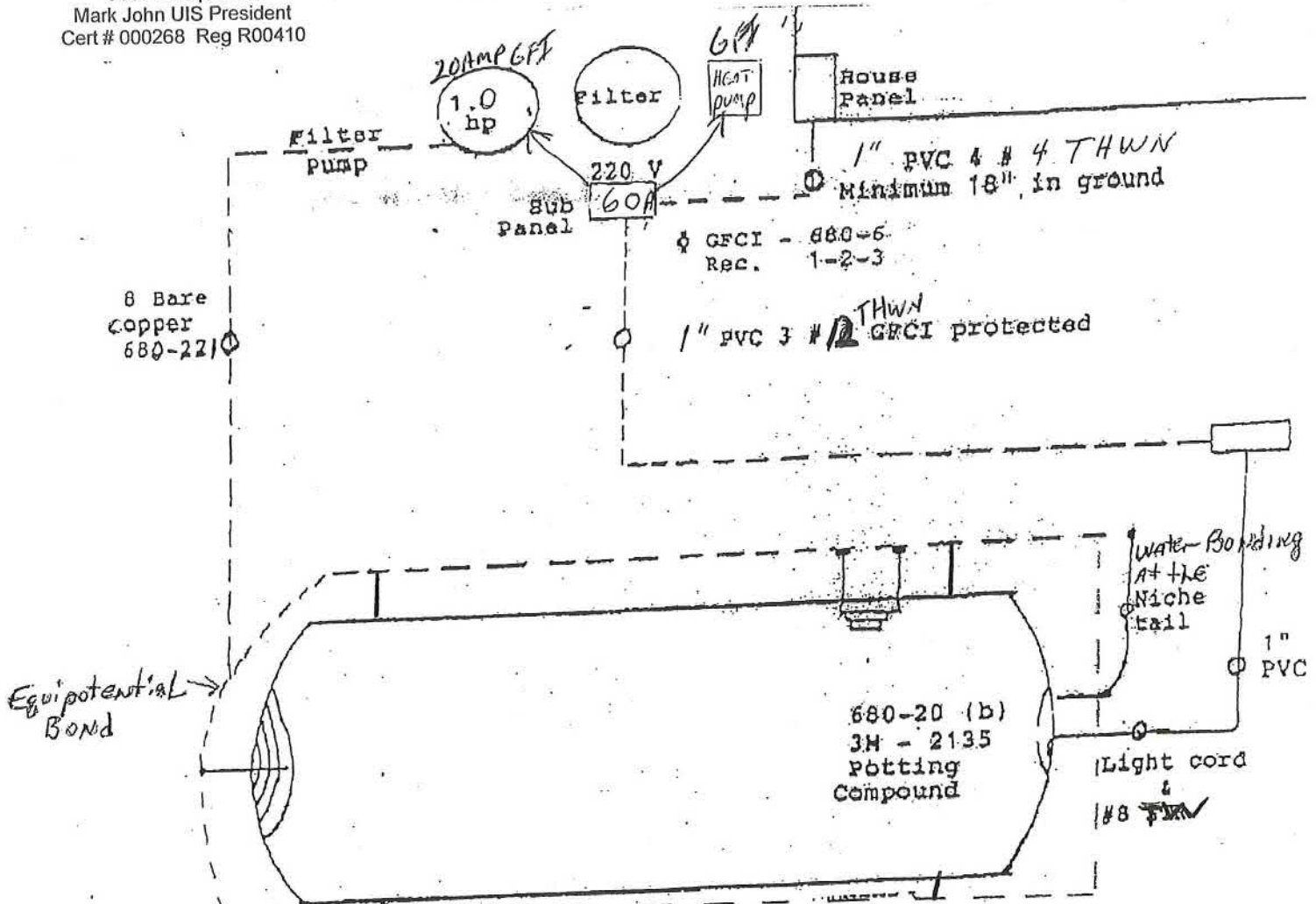
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 Residential / Commercial Electrical Contractor  
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 Pools and Spa Wiring

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ALL WIRING SHALL BE INSTALLED ACCORDING TO ARTICLE 680 OF THE NATIONAL ELECTRICAL CODE.



**EAGLE POOL & SPA, INC.**  
 The Home Relaxation Specialist  
 3246 Ridge Pike • Norristown (Eagleville), PA 19403  
 610-631-1950 • www.eaglepoolspa.com

2008 Willowwood Dr.  
 Royersford PA 19468  
 Limerick Twp



## LIMERICK TOWNSHIP

PLANNING & ZONING DEPARTMENT  
646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX (610) 495-0952  
WWW.LIMERICKPA.ORG

### ZONING INFORMATION

PLEASE ANSWER THE FOLLOWING ADDITIONAL QUESTIONS.

1. SITE ADDRESS 2008 Willowood Dr. ZONING DISTRICT \_\_\_\_\_
2. SUBDIVISION NAME \_\_\_\_\_ IS YOUR PROPERTY PART OF AN HOA? ☐ YES ☐ NO
3. BUILDING USE: ☒ PERSONAL/HOBBY/RESIDENTIAL ☐ BUSINESS OR HOME OCCUPATION
4. WILL THERE BE NEW IMPERVIOUS SURFACE? ☒ YES ☐ NO SF 942
5. WILL THERE BE EARTH DISTURBANCE? (EXCAVATIONS & GRADING) ☒ YES ☐ NO SF 942
6. WILL THERE BE VEGETATION DISTURBANCE > 25,000 SF ☐ YES ☒ NO SF \_\_\_\_\_
7. WILL THERE BE A RELOCATION OF THE WELL OR SEPTIC SYSTEM? ☐ YES ☒ NO
8. WILL THERE BE ADDITIONAL BEDROOMS? ☐ YES ☐ NO
9. PROVIDE THE TOTAL AMOUNT (EXISTING & PROPOSED) BUILDING COVERAGE ON PROPERTY. THIS INCLUDES ANY AREA COVERED WITH ROOFS SUCH AS BALCONIES, PORCHES, ETC. FOR RESIDENTIAL PROJECTS, DO NOT INCLUDE DECKS OR PATIOS. FOR NON-RESIDENTIAL PROJECTS DECKS AND PATIOS SHALL BE INCLUDED.  
TOTAL BUILDING COVERAGE: EXISTING: 3264 SF PROPOSED: 942 SF  
LOT SIZE: 28063 ACRES SF  
CALCULATE THE PERCENT BUILDING COVERAGE:  
(TOTAL BUILDING COVERAGE DIVIDED BY LOT SIZE) 14.9 % ACRES SF
10. PLOT PLAN REQUIREMENTS CHECKLIST – A PLOT PLAN MUST BE SUBMITTED WITH THE APPLICATION. ALL OF THE FOLLOWING MUST BE CLEARLY ILLUSTRATED AND IDENTIFIED ON THE ATTACHED PLOT PLAN OR NOTED AS NOT PRESENT ON THE PARCEL:
  - ☒ 1. PROPERTY LINES INCLUDE BEARING AND DISTANCE INFORMATION, IF READILY AVAILABLE.
  - ☒ 2. ALL EASEMENTS AND/OR REQUIRED BUFFER YARDS.
  - ☒ 3. OUTLINE OF ALL STRUCTURES (HOUSE, SHEDS, PORCHES, POOLS, ETC.)
  - ☒ 4. DISTANCE OF THE PROPOSED STRUCTURE TO THE SIDE AND REAR PROPERTY LINE AND CENTERLINE OF STREET/ROAD.
  - ☒ 5. DRIVEWAY LOCATION & WIDTH.
  - ☒ 6. EXISTING AND PROPOSED UTILITY LOCATIONS.

#### NOTES

1. STRUCTURES CANNOT BE PLACED IN EASEMENTS OR RIGHT-OF-WAYS.
2. WHEN ADDING ADDITIONAL BEDROOMS TO A DWELLING WITH ON-LOT SEPTIC SYSTEMS, APPROVAL FROM MONTGOMERY COUNTY HEALTH DEPARTMENT IS REQUIRED.



Address: 2008 WILLOWWOOD DRIVE  
(ensure address is unique and includes suite numbers)

Permit No.: 16-0499

## PROJECT REVIEW DATA SHEET

PERMIT TYPE ☐ Demolition

Non-Residential Building Code Edition: 2009 IBC / 2009 IBC w/2012 IBC CH. 11

☐ New Construction ☐ Addition ☐ Alterations/Repairs

Residential Building Code Edition: 2009 IRC

☐ New Construction ☐ Addition ☐ Alterations (structural/egress) ☐ Accessory Structures Pool

### ZONING INFORMATION

Business Name RESIDENTIAL B 054A U 046 Lot size 28,063 SF

Zone: (circle one)

R-1 Residential-Agricultural District

R-2 Low Density District

R-3 Medium Density District

R-4 Medium-High Density District

R-5 Village Residential District

MHP Mobile Home Park District

VC Village Commercial District

HC Highway Commercial District

O/LI Office/Limited Industrial District

LLI Limited Light Industrial District

HI Heavy Industrial District

HI/E Heavy Industrial & Energy District

RB Retail Business District

LLI Interchange Overlay District

MS Main Street District

### Overlay Districts:

Institutional Regulations

Floodplain Conservation District

Pottstown-Limerick Airport Zoning District

Lewis Road Conditional Use Overlay District

Subdivision 01-20 ASHBROOKE

(list LD # and recorded LD Name) i.e. #00-10 Heritage Hills Golf Club; #00-12 Neiffer Woods

Land Use CLUSTER - RESIDENTIAL (list classification of use permitted in zoning ordinance or ZHB decision, such as cluster, traditional, lot averaging, Class I, Class III,)

i.e. Golf Course Residential Community; Cluster Subdivision.

Gross square footage of building / unit / tenant space (Gross SF): \_\_\_\_\_ SF

### BUILDING CLASSIFICATION CODES:

Construction Type: (circle one) IA, IB, IIA, IIB, IIIA, IIIB, IV, VA, VB

Use Group: (circle one)

Assembly (A-1, A-2, A-3, A-4 & A-5)

Factory & Industrial (F-1 & F-2),

Institutional (I-1, I-2, I-3 & I-4)

Storage (S-1, S-2)

Business (B)

Educational (E)

High Hazard (H-1, H-2, H-3, H-4 & H-5)

Mercantile (M)

Residential (R-1, R-2, R-3, R-4 & IRC)

Utility & Miscellaneous (U)

Building Use: \_\_\_\_\_ (description / sub-use, i.e. day care center)

DESCRIPTION OF WORK: (USE FOR NEW CONSTRUCTION) Construct a 18' x 36' [square footage of building or unit] SF INGROUND SWIMMING POOL [business name and building use] per the plans submitted and [building code edition]/Limerick Township building/zoning regulations.

Conditions:



DIVING/CLIMBING EQUIPMENT SHALL BE DESIGNED FOR STATIONARY USE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/CLIMBING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. DIVING/CLIMBING EQUIPMENT MANUFACTURER'S SPECIFICATIONS SHALL BE USED FOR THEIR SPECIFICATIONS.

MODEL: ROMAN I  
 SIZE: 18' X 36'  
 Depth: 8'  
 Perimeter: 100' 0"  
 Area: 608 Sq. Ft.  
 Volume: 20,700 US Gal. (78,600 Litres)

# DIVING PERMITTED ONLY FROM DESIGNATED DIVING AREA.

1. Pool is designed for use below grade and only in areas where the ground is level and free of obstructions.
2. Back fill with clean earth, free of rocks or debris. Do not allow the height of water to exceed the height of the water in the pool by more than 6" for the water to exceed the back fill by more than 6".
3. Pour 2500 P.S.I. concrete footing around entire perimeter, minimum 8" deep, 4" wide concrete deck to be poured at least 3" thickness and a slope of 1/4" to 1" away from the pool.
4. All inside pool dimensions are to be finished dimensions.
5. Finished bottom is to be 2" minimum of suitable material or undisturbed earth.
6. A safety fence, with no less than 4' high, is to be permanently attached 10' to the shallow side of the pool at first slope change.
7. A safety fence, with no less than 4' high, is to be permanently attached 10' to the shallow side of the pool at first slope change.
8. A safety fence, with no less than 4' high, is to be permanently attached 10' to the shallow side of the pool at first slope change.
9. Cover and Drains: Drains shall be installed in accordance with the manufacturer's instructions and the responsibility of the contractor who is not an agent of the manufacturer of the component parts.
10. Installation is to be done in accordance with all federal, state and local building codes, as well as N.S.P.I. suggested standards.

This bottom configuration shall conform with current N.S.P.I. suggested minimum standards for pools intended for use in residential swimming pools. For pools intended for use in commercial swimming pools, the contractor shall consult the manufacturer's instructions, and safety instructions.

Installation is to be done in accordance with all Federal, state and local building codes including IRC 2009 as well as compliance to ANSI/NSPI-5 - Standard for Residential In-Ground Swimming Pools.

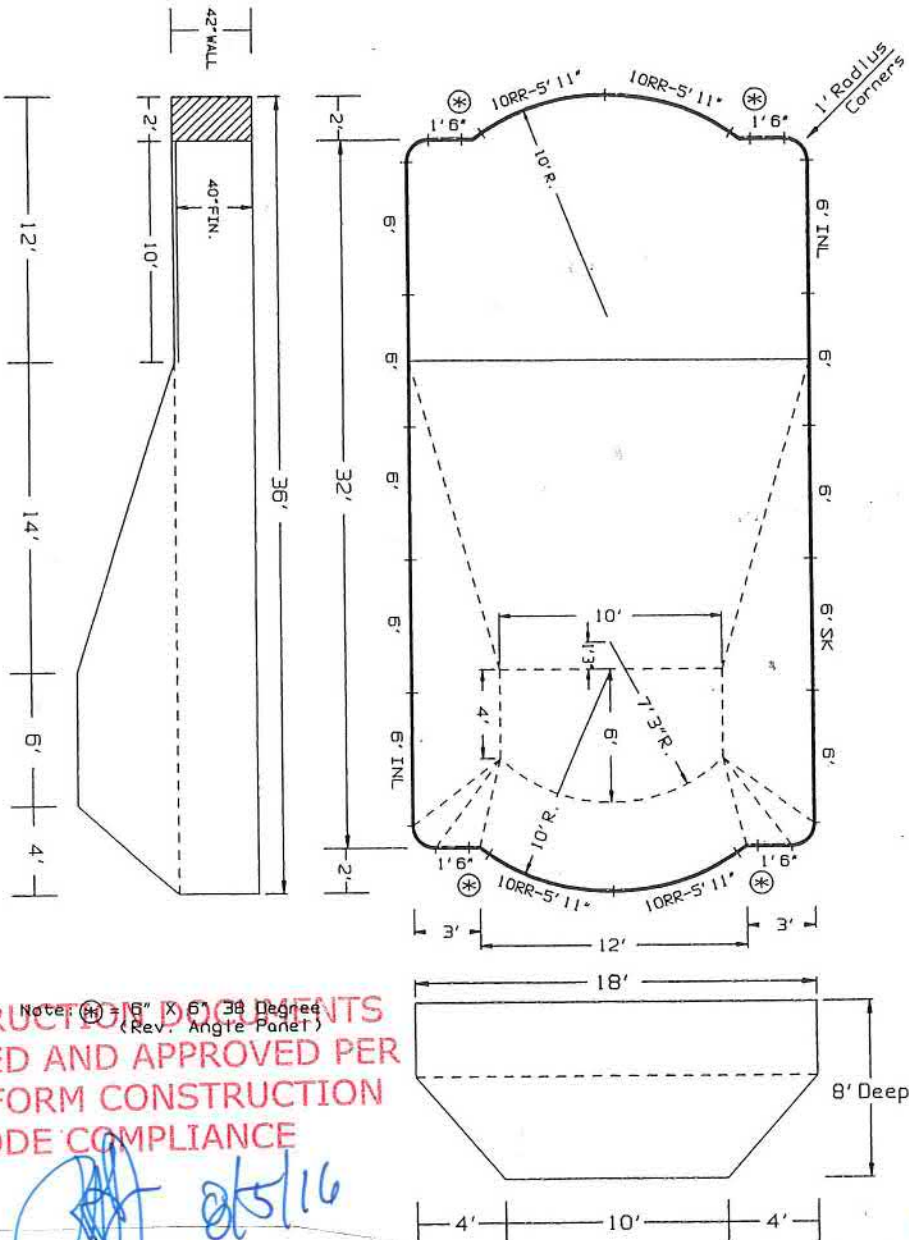
POOL COMPLIES TO IRC 2009 & NSPI-5

## B. ELECTRICAL & PLUMBING

THE CONSTRUCTION AND INSTALLATION OF ELECTRIC WIRING, GROUNDING AND BONDING AND EQUIPMENT ARE SUBJECT TO THE STATE CODE AND TO THE CURRENT ADOPTED NATIONAL ELECTRIC CODE REQUIREMENTS. ALL PLUMBING MUST COMPLY WITH THE CURRENT ADOPTED STATE CODE.

## ADDITIONAL NOTE

IF POOL IS FURNISHED WITH DRAINS OR SUBMERGED SUCTION OUTLETS, THEN COMPLIANCE TO THE VENTILATION, GRAVE BAKER POOL, AND SAFETY ACT IS REQUIRED. DRAIN COVERS ASME A112.19.8 2007 AT 3'-0" MIN APART AND ENTRAPMENT AVOIDANCE MUST BE INSTALLED



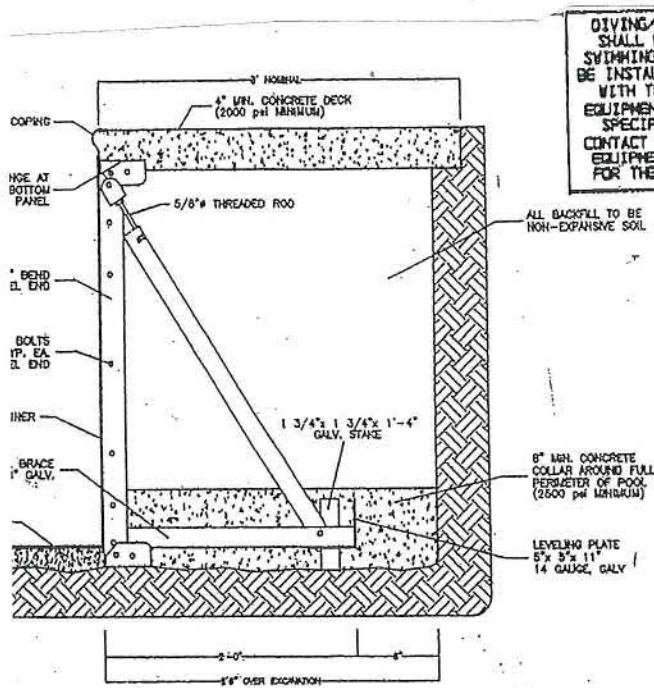
CONSTRUCTION DOCUMENTS  
 REVIEWED AND APPROVED PER  
 PA UNIFORM CONSTRUCTION  
 CODE COMPLIANCE

FEBRUARY 24  
 2004



James A. Marx Jr.  
 Professional Engineer  
 100 High Mountain Road  
 Ringwood, New Jersey 07456  
 PA Professional Engineer License 42060-R

2008 Willowood Dr



TYPICAL WALL SECTION AT  
"A" FRAME

DIVING/SLOING EQUIPMENT SHALL BE DESIGNED FOR SWIMMING POOLS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/SLOING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. PLEASE CONTACT THE DIVING/SLOING EQUIPMENT MANUFACTURER FOR THEIR SPECIFICATIONS.

1. Pool is designed for use below grade and only in areas where the ground water table is a minimum of 4'6" below grade.
2. Back fill with clean earth, free of roots and debris. Do not allow the height of back fill to exceed the height of the water in the pool by more than 6" nor the water to exceed the back fill by more than 6".
3. Pour 2500 P.S.I. concrete footing around entire perimeter, minimum 8" deep.
4. 3' wide concrete deck is to be poured at least 3" thickness and a slope of 1/4" to 1' away from the pool.
5. All inside pool dimensions are to be finished dimensions.
6. Finished bottom is to be 2" minimum of suitable material or undisturbed earth.
7. A safety line, with buoys, is to be permanently attached 1'0" to the shallow side of the point of first slope change.
8. Stairs: For all stair layouts, refer to Imperial Installation manual.
9. Construction Drawing: Different methods and precautions may be dictated by various ground conditions. This is to be determined by and is the responsibility of the contractor who is not an agent of the manufacturer of the component parts.
10. Installation is to be done in accordance with all federal, state and local building codes, as well as N.S.P.I. suggested standards.

The bottom configuration shown conforms with current N.S.P.I. suggested minimum standards for pools approved for use with manufactured diving equipment. If diving equipment is installed, follow the equipment manufacturer's installation, use and safety instructions.

#### GENERAL NOTES:

- 1) POOL CLEARANCES TO BUILDINGS AND PROPERTY LINES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- 2) THIS PLAN DOES NOT INCLUDE POOL LOCATION ON PROPERTY, GRADING, FENCING, WALLS OR OTHER SITE INFORMATION.
- 3) ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
- 4) CONTRACTOR SHALL VERIFY BURIED UTILITIES WITHIN SURROUNDS OF INSTALLATION AREA.

#### Note:

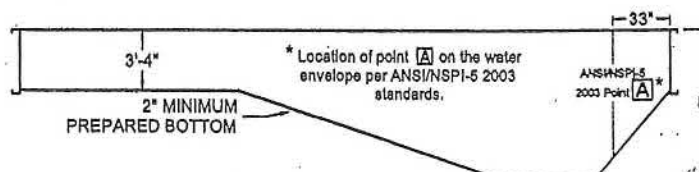
Installation is to be done in accordance with all Federal, state and local building codes including IRC 2009 as well as compliance to ANSI/NSPI-5 – Standard for Residential In-Ground Swimming Pools. Electrical and bonding requirements shall comply with NEC (2008 Ed.).

#### ANSI/NSPI – TYPE II POOL

POOL COMPLIES TO IRC 2009 & NSPI-5

#### ADDITIONAL NOTE

IF POOL IS FURNISHED WITH DRAINS OR SUBMERGED SUCTION OUTLETS, THAN COMPLIANCE TO THE VIRGINIA GRAEME BAKER POOL AND SAFETY ACT IS REQUIRED:  
DRAIN COVERS ASME A112.19.8 2007 AT 3'-0" MIN APART  
AND  
ENTRAPMENT AVOIDANCE MUST BE INSTALLED IN ACCORDANCE WITH IRC SECTION AG106

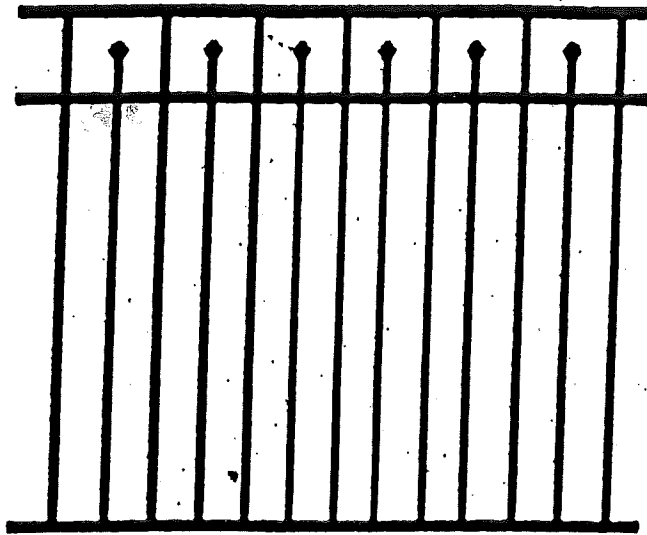


2008 Willowood Dr.

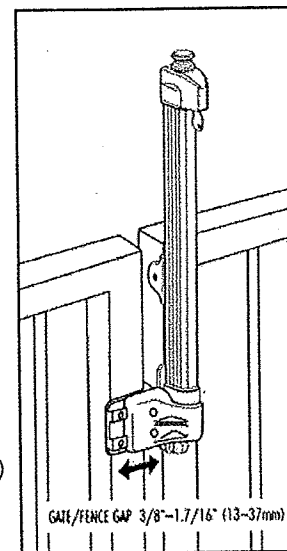
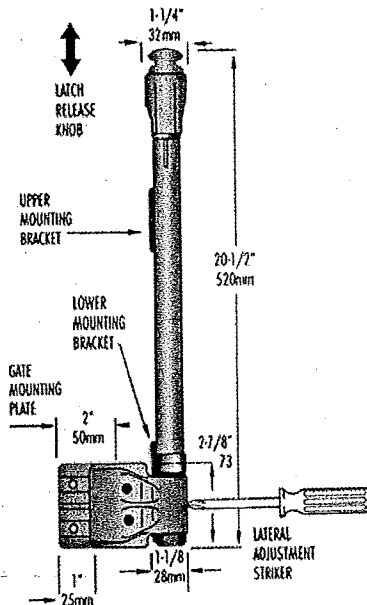
# Specifications

# DELGARD® PREMIER ALUMINUM FENCING

## Guardian Doria



Residential	
Picket:	5/8" x 5/8" x .050" wall thickness
Rail:	1" x 1" x .055" top wall thickness, .080" side wall
Post:	2" x 2" x .060" wall thickness
Gate Post:	2" x 2" x .125" wall thickness
Spacing:	3-13/16" between pickets, 1-39/64" (Hialeah and Innsbruck)
Installed Centers:	72-3/4" on center 2" posts
Heights:	36", 42", 48", 54", 60", 72"
Colors:	white, black, bronze, hunter green, sandstone
Horizontal Rails:	3 on 36", 42", 48", 54", 60" 4 on 72"
Alloy:	6060-T5 on pickets, 6063-T6 on posts and rails
Strengths:	Over 350 lbs



## EAGLE POOL & SPA, INC.

The Home Relaxation Specialist  
3246 Ridge Pike • Norristown (Eagleville), PA 19403  
610-631-1950 • [www.eaglepoolspa.com](http://www.eaglepoolspa.com)

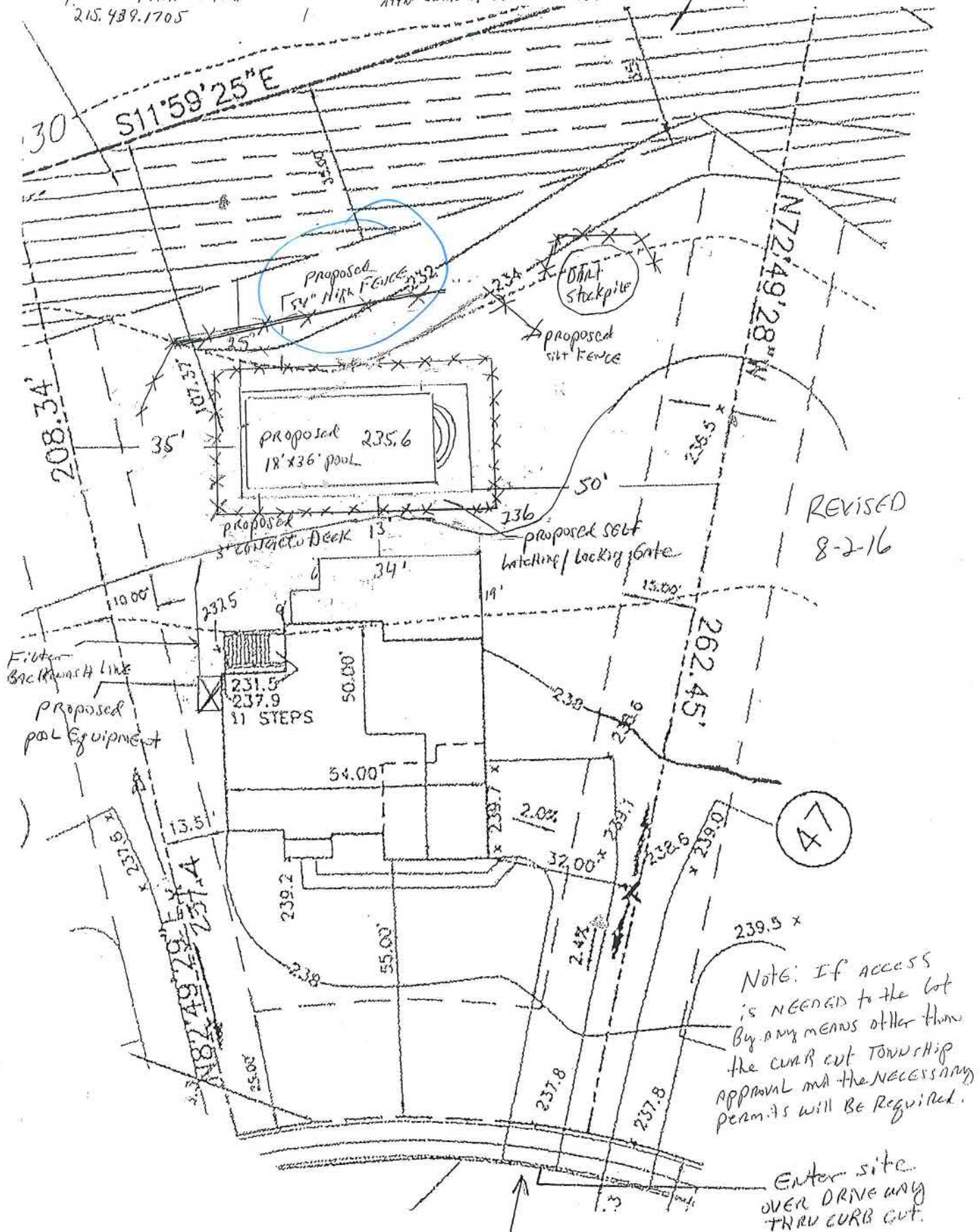
2008 Willowood Dr.

ATTN: JOHN KLEBA 610.888.9682



Eagle Rock + Spc, Inc.  
3246 Ridge Pike  
Englewood, V.A. 19403  
ATTN JOHN KLEBA 610.888.9682

THIS AREA TO BE OGD  
RESTRICTED TO REMAIN  
OPEN



3/14

FOR: Kim + MARION HOOPER  
2008 Willow Wood Dr.,  
Royerston, P.A. 19468

Prepared By: Eagle Pool & Spa, Inc.  
3246 Ridge Pike  
Eagleville, P.A. 19403  
Attn: JOHN KLEBA 610.888.9682  
Lot Square Footage 28,063

IMPERVIOUS SURFACE CALCULATIONS:

Existing DWELLING 2039

Existing DRIVEWAY 1050

Existing WALKWAY 175

TOTAL Existing 3264

proposed pool + Deck 942

percent of total IMPERVIOUS SURFACES Existing =  $3264 / 28,063 = 11.6\%$

percent of TOTAL IMPERVIOUS  
Existing and PROPOSED =  $4206 / 28,063 = 14.9\%$

Construction Sequence

PA ONE CALL to be made By the Contractor prior to the start of construction. Inspect EROSION & SEDIMENTATION CONTROLS DAILY especially after HEAVY storms. Replace & Repair EROSION and SEDIMENTATION CONTROLS AS NECESSARY.

1. Construct construction ENTRANCE
2. Install Silt FENCE
3. Clear proposed construction area of Existing Vegetation
4. Strip a Pile Topsoil
5. Excavate & Construct
6. Finish Grading placement of Soil
7. Reconstruct construction ENTRANCE
8. Permanent seeding REMOVE CONTROLS after 70% Vegetative state has BEEN achieved OR permission By the county conservation District.
9. Immediately RESTABILIZE any RE disturbed AREAS.

0499

**Limerick Township  
Inter-Office Receipt Transmittal  
Codes Department**

Payor Eagle Pool + Spa Date 8-12-16  
Development \_\_\_\_\_ Lot # \_\_\_\_\_  
Location 2008 Willowood Dr. Block \_\_\_\_\_ Unit \_\_\_\_\_

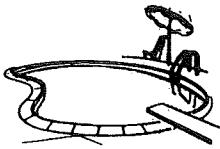
Check # 46439 Credit Card \_\_\_\_\_ Cash \_\_\_\_\_

Code	Residential:	Amount	Code	Commercial:	Amount
101	Building Permit - Residential	<u>796.90</u>	130	Building Permit - Commercial	_____
102	Electrical Permit - Residential	<u>40.00</u>	132	Electrical Permit - Commercial	_____
103	Plumbing Permit - Residential	_____	133	Plumbing Permit - Commercial	_____
105	Mechanical Permit - Residential	_____	135	Mechanical Permit - Commercial	_____
119	Building Plan Review - Residential	_____	139	Building Plan Review - Commercial	_____
125	Plan Re-review Fees - Residential	_____	128	Plan Re-review Fees - Commercial	_____
118	Re-inspection Fees - Resident	_____	126	Re-inspection Fees - Commercial	_____
<b>General Building:</b>					
122	\$4 Training Fee	<u>4.00</u>	107	Contractor Registration	_____
127	Act 46 Extension Fee	_____	114	Trailer Park Permit	_____
104	Zoning Use Permit	_____	112	Junk Yard Permit	_____
115	Zoning Permit	_____	113	Transient Retailer/Solicitation	_____
108	Sign Permit	_____	117	Alarm Permit	_____
<b>Drainage:</b>			<b>Zoning:</b>		
106	Drainage Permit	_____	110	Zoning Hearing Fee	_____
123	Eng Commercial - Escrow	_____	116	Petition to Rezone Fee	_____
124	Drainage Residential Fees	_____	904	Conditional Use Hearing	_____
<b>Miscellaneous:</b>			<b>Fire:</b>		
111	Sale of Codes, Maps, Ordinance	_____	301	Annual Fire Protection Fee	_____
901	Photocopy Fees	_____	302	Underground Storage Tank	_____
921	Admin Scanning Fee	_____	303	Fire Reports/Photos	_____
801	Highway Occupancy Permit	_____	304	Fire Protection System	_____
109	Home Occupancy Permit	_____	305	Blasting Permit	_____
908	Recycling Bins	_____	306	Fire Contractor Registration	_____
921	Leaf Bags	_____	307	Plan Review - FCO	_____
903	Miscellaneous Payment	_____	308	Fire Works Permit	_____
<b>TOTAL PAYMENT</b>					<u><u>840.90</u></u>



ORIGINAL DOCUMENT PRINTED ON CHEMICAL REACTIVE PAPER WITH MICROPRINTED BORDER

46439



**EAGLE POOL & SPA, INC.**

3246 RIDGE PIKE  
EAGLEVILLE, PA 19408  
(610) 631-1950  
FAX (610) 631-0723



3-50/310

8/11/2016

PAY  
TO THE  
ORDER OF

LIMERICK TOWNSHIP

\$ 840.90

DOLLARS

Eight Hundred Fourty Dollars and 90 Cents

AUTHORIZED SIGNATURE

SAFEGUARD SECURITY  
SAFEGUARD SECURITY

MEMO

2008 WILLOWWOOD PERMIT

THIS DOCUMENT CONTAINS HEAT SENSITIVE INK TOUCH OR PRESS HERE RED IMAGE DISAPPEARS WITH HEAT

⑈046439⑈ ⑆031000503⑆ 2000045906921⑈

## Limerick Township: Document Access

**PARCEL FILE - 2008 WILLOWWOOD**

**DATE POSTED:**  
**05/21/2025**

**EXPIRES:**  
**08/31/2025**

LimerickDocuments\_20250521104138.zip [Note: This ZIP file contains all the files listed below.](#) [Download](#) 23.8 MB

**Document Name**

Type	Ref.##	Sub Type	Sheet Descr	File Name	Download File	File Size
1	PERMITS	SHED PERMIT	2008 Willowwood Dr - Shed.pdf		<a href="#">Download</a>	4.2 MB
2	PERMITS	DRAINAGE PERMIT	2008 Willowwood Dr - Drainage Permit.pdf		<a href="#">Download</a>	1.8 MB
3	PERMITS	DRAINAGE PERMIT	2008 Willowwood Dr - Final Drainage Review.pdf		<a href="#">Download</a>	0.2 MB
4	PERMITS	SHED PERMIT	2008 Willowwood Dr - Shed CO.pdf		<a href="#">Download</a>	0.4 MB
5	PERMITS	POOL PERMITS	2008 Willowwood Dr - Swimming Pool CO.pdf		<a href="#">Download</a>	0.4 MB
6	PERMITS	POOL PERMITS	2008 Willowwood Dr - Swimming Pool.pdf		<a href="#">Download</a>	6.7 MB
7	PERMITS	CERTIFICATE OF OCCUPANCY	Building Permit 2003-613.pdf		<a href="#">Download</a>	7.9 MB
8	PERMITS	ALTERATIONS - RESIDENTIAL	Building Permit		<a href="#">Download</a>	2.4 MB

			2004-023.pdf	
9	PERMITS	CONNECTION PERMIT	Connection Permit 4281.pdf	<a href="#">Download</a> 0.4 MB
10	PERMITS	DECK PERMIT	Deck Permit 08-1383.pdf	<a href="#">Download</a> 4.2 MB
11	PERMITS	GRADING PERMIT	Grading Permit GA-2081.pdf	<a href="#">Download</a> 1.5 MB





**Daniel K. Kerr**  
Township Manager/Secretary/Open Records Officer  
[DKerr@LimerickPA.org](mailto:DKerr@LimerickPA.org)  
**Administration 610.495.6432**  
Police 610.495.7909  
FAX 610.495.0353

646 West Ridge Pike, Limerick, PA 19468

[www.LimerickPA.org](http://www.LimerickPA.org)

**SENT VIA EMAIL TO:** [Evan.Foster@proplogix.com](mailto:Evan.Foster@proplogix.com)

**RE: Right-to-Know Request**

Dear Mr. Foster:

This letter is in regard to your May 16, 2025 Right-to-Know Request to Limerick Township pursuant to Pennsylvania's Right-To-Know Law. You requested the following information:

***Any BUILDING PERMITS, CODE VIOLATION & SPECIAL ASSESSMENT FEES on the below property:***

***Address: 2008 WILLOWWOOD DR , ROYERSFORD PA 19468***

***Parcel: 37-00-05337-15-2***

***Owner : KIM HOOVER***

Your request is granted. Please note that the Township will make all property files available electronically and any requested document(s) should be located within this file. If a permit is an open or expired permit, it would be listed as such by the file name. Contained below and within the body of the email is a link which will allow you to download and review the parcel file electronically.

**Parcel File: 2008 Willowwood Drive Parcel ID: 37-00-05337-15-2 (B54A/U46)**

<https://www.carriganmis.com/hs/public/43312/docdownload.cfm?docsession=D0ADA8E3742837EA68BD574020C1A366686690B3>

As far as active code violations, to the best our knowledge there does not appear to be any current violations on record. However, this statement does not offer any guarantee that the property is currently in compliance with all Township codes.

This correspondence will constitute compliance according to the PA Right-to-Know Law. If you have any questions or need any further information, please do not hesitate to call.

Sincerely,

LIMERICK TOWNSHIP

A handwritten signature in blue ink that reads "Daniel K. Kerr". The signature is written in a cursive style with a large initial 'D' and a stylized 'K'.

Daniel K. Kerr  
Open Records Officer

DKK/mlm



## UCC Permit for Residential Accessory Structure

**Limerick Township****646 W. Ridge Pike  
Limerick, PA 19468**

Phone: 610-495-6432

Fax: 610-495-0952

**Department Use Only**

Permit #: 17-0325

Approved Date: 05/30/2017

Issued By: Robert Loeper, Jr.

**Property Information****Business Name:****Address:** 2008 WILLOWOOD DR**City/State/Zip:** ROYERSFORD PA**Zoning District:** R-2 Low Density District**Parcel/Block/Unit/Lot:** 370005337152 054A 046 0046**Building Information****Construction Type:** VB**Use Group:** R-3**Building Use Area (SF):** 240 SF**Land Use:** Cluster**Land Dev./Subdivision:** 01-20 Ashbrook Estates**Applicant Information****Name:** Pine Creek Structures, Inc.,**Address:** 207 W. Ridge Pike**City/State/Zip:** Limerick PA 19468**Telephone:** 717-756-1863**Owner Information****Name:** HOOVER KIM L & MARIAN R,**Address:** 2008 WILLOWOOD DR**City/State/Zip:** Royersford PA 19468**Telephone:** 610-792-4436

This permit conveys no right to occupy any street, alley, or sidewalk or any part thereof, either temporarily or permanently. Encroachment on public property shall be approved by the agency having jurisdiction. The issuance of this permit does not release the applicant from the conditions/instructions of any private covenant recorded against the land or conditions of an approved subdivision or land development.

- A. Approved plans must be retained on the job and this Permit posted until final inspection has been made. Buildings shall not be occupied until certificate of occupancy has been issued. The issuance of the certificate of occupancy does not relieve the applicant from the responsibility for correcting any code violation that may exist.
- B. All construction shall comply with Zoning, PA UCC and applicable ICC codes and plans/information submitted.
- C. Construction Activity is permitted between the hours of 7:00 am and 8:00 pm, Monday through Friday and between the hours of 8:00 am and 6:00 pm on Saturday and Sunday.
- D. Inspections - See Construction Inspections Required schedule, issued with this permit.
- E. Permit will become null and void if construction work is not started within six months of the date of the permit is issued as noted above.
- F. Electrical Permit - All electrical work must be inspected by an electrical underwriter prior to a Limerick Township inspection.
- G. This permit is independent of and does not supercede approval by an HOA.

**Description of Work:****Project Cost:** 6,200.00

Installation of a 240 square foot shed per plans submitted and Limerick Township building/zoning regulations. CONDITIONS: Shed should not be placed in a swale or natural drainage way areas for the purposes of drainage for storm water runoff. Shed to be placed on stone or concrete base and elevated to allow proper drainage away from shed.

**Permit Fees**

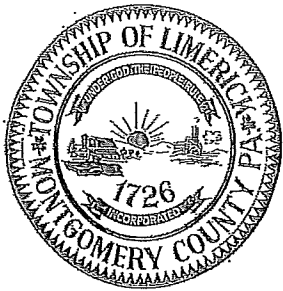
Description	Work Being Done By	Units	Sum
Accessory Structure - Res	Pine Creek Structures, Inc.,	0	75.00
PA UCC Training Fee	207 W. Ridge Pike Limerick PA 19468	0	4.00

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Grand Total:****79.00**





# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT  
646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX 610-495-0952  
WWW.LIMERICKPA.ORG

## RESIDENTIAL CONSTRUCTION INSPECTIONS REQUIRED

Property Address 2008 Willowwood Dr.

Permit No. 17-0325

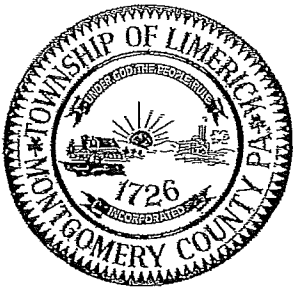
Residential Inspections are made Monday thru Friday - 9:00 am to 3:00 pm.

All inspections require 24 hour notice. Call 610-495-6432 to schedule an inspection.

\*Other inspections may be required depending on project requirements.

\*\*All electrical inspections are required to be completed by a Certified Third Party Inspection Agency.

REQUIRED INSPECTION	DESCRIPTION	
<input type="checkbox"/>	1.	Footing Inspection - Inspection performed BEFORE concrete is poured.  NOTE: For new dwellings, <u>Limerick Township House/Building Placement Form</u> must be completed by a responsible professional and ready to submit to the inspector at the time of inspection.
<input type="checkbox"/>	2.	Foundation Pre-Pour Inspection-Inspection performed prior to placing concrete. All forms, rebar and any other related items should be in place.
<input type="checkbox"/>	3.	Foundation Backfill Inspection - Inspection performed after foundation wall is constructed and damp-proofed. Perimeter drain, if applicable.
<input type="checkbox"/>	4.	Concrete Slab Pre-Pour Inspection-Inspection performed prior to placing concrete. <input type="checkbox"/> Basement <input type="checkbox"/> Garage
<input type="checkbox"/>	5.	**Electric Service Inspection - **Third Party Agency approval. Please submit inspection verification to the Township.
<input type="checkbox"/>	6.	Water Service Connection Inspection & Approval - Inspection performed BEFORE backfilling the trench. Pipe must be visible. (performed by PA American, call Bob @ 610-495-3080)  <input type="checkbox"/> Service(s) <input type="checkbox"/> Meter
<input type="checkbox"/>	7.	Building Sewer Connection Inspection & Approval - Inspection performed BEFORE backfilling the trench. Pipe must be visible. (performed by Township Sewer Department, call Patty @ 610-948-5750).  NOTE: Water Service & Building Sewer Inspections can be performed concurrently.
<input type="checkbox"/>	8.	Rough Plumbing Inspection - Air or Water test is required. Inspection performed BEFORE insulation installation. <input type="checkbox"/> Under-Slab Inspection
<input type="checkbox"/>	9.	**Rough Electrical Inspection - **Third Party Agency approval. Inspection performed BEFORE all other rough inspections and before insulation installation. Please submit inspection verification to the Township.
<input type="checkbox"/>	10.	Rough Mechanical Inspection - Inspection performed BEFORE insulation installation.
<input type="checkbox"/>	11.	Rough Framing Inspection - Inspection performed BEFORE insulation installation. NOTE: Rough Framing, Plumbing, Mechanical, & Fire Caulk Inspections can be performed concurrently.
<input type="checkbox"/>	12.	Energy/Insulation Inspection - Residential per 2009 IRC Table N1102.4.2



# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT  
646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX 610-495-0952  
WWW.LIMERICKPA.ORG

## RESIDENTIAL CONSTRUCTION INSPECTIONS REQUIRED

REQUIRED INSPECTION	DESCRIPTION	
<input type="checkbox"/>	13.	Wallboard Inspection – Inspection performed during wallboard installation. Prior to taping or spackle application.
<input type="checkbox"/>	14.	Final Plumbing Inspection
<input type="checkbox"/>	15.	**Final Electrical Inspection (**Third Party Agency approval required. Please submit inspection verification to the Township.)
<input type="checkbox"/>	16.	Final Mechanical Inspection
<input type="checkbox"/>	17.	Other Items <ul style="list-style-type: none"> <li><input type="checkbox"/> Blower Door test</li> <li><input type="checkbox"/> Duct Blasting test</li> <li><input type="checkbox"/> Road Opening Permit</li> <li><input checked="" type="checkbox"/> As-built plan or Building Placement Form approved by Twp. Engr.</li> <li><input checked="" type="checkbox"/> CD of all As-built drawings, reports &amp; 3<sup>rd</sup> Party inspections</li> <li><input checked="" type="checkbox"/> MC Dept. Of Health – approvals for use of on-lot water and on-lot sewer is required.</li> </ul>
<input checked="" type="checkbox"/>	18.	Final Inspection - Certificate of Occupancy  *A certificate of occupancy will NOT be issued without the appropriate paperwork submitted by all required agencies for items listed above, as applicable.  *Limerick Township does NOT issue Temporary Certificates of Occupancy.



# LIMERICK TOWNSHIP

CODE SERVICES DEPARTMENT

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468

## ADMINISTRATION OFFICES

PHONE: (610) 495-6432

FAX: (610) 495-0952

EMERGENCY: 911

www.limerickpa.org

ROBERT F. LOEPER, JR.  
DIRECTOR OF CODE SERVICES

## UNIFORM CONSTRUCTION CODE APPLICATION FOR: RESIDENTIAL CONSTRUCTION

RECEIVED

MAY 25 2017

LIMERICK TOWNSHIP

### 1. PROJECT INFORMATION:

<input checked="" type="checkbox"/> New Structure	<input type="checkbox"/> Addition	<input type="checkbox"/> Alteration	<input type="checkbox"/> Demolition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Alternative Energy	<input type="checkbox"/> Swimming Pool, Spa, or Hot Tub		<input type="checkbox"/> Other:	
Description of Work: STORAGE SHED				

Attach additional information as needed

### 2. PROPERTY INFORMATION:

Site Address:	2008	WILLOWOOD DR	ROYERSFORD	19468
Tax Parcel #:	370005337152			
Utilities:	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Private Well	<input checked="" type="checkbox"/> Public Sewer	<input type="checkbox"/> Private Septic
Is Any Portion of the Property in a Flood Hazard Area?			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Does the Property Have Any Easements, Right-Of-Ways, or Other Restrictions?			NO	

Owner:	KIM & MARIAN HOOVER	Phone:	215-439-1705	Email:	HOOVERKMH@COMCAST.NET
Mail Address:	2008	WILLOWOOD DR	ROYERSFORD	19468	
Authorized Agent (General Contractor, Building Manager, etc.)		N/A			
Phone #:	484 973 6732	Fax #:		Email:	HOOVERKMH@COMCAST.NET
Mail Address:					

### 3. BUILDING GENERAL INFORMATION:

Description of Building Use:		STORAGE SHED - 12' x 20'			
Building Height:	10' 6"	Stories Above Grade Plane:	N/A	Access to a State Highway:	N/A
Automatic Fire Sprinkler System:	NO	Other Fire Suppression:	NO		
Fire Alarm System:	NO	Security Alarm System:	NO		
Project Associated with a Manufactured Home (mobile home, trailer, etc.)?		N/A			
Elevator:	NO	Propane or LPG:	NO	Existing Area (sq/ft):	
Other Regulatory or Governing Entities?					

### 4. BUILDING SYSTEM INFORMATION:

Electrical:		Service Size:		Service Voltage:		Utility Company:	
		Backup Generator:		Photovoltaic (solar):		Turbine/wind:	
Mechanical:		Fuel:	<input type="checkbox"/> Nat Gas	<input type="checkbox"/> LPG	<input type="checkbox"/> Fuel Oil	<input type="checkbox"/> Waste Oil	<input type="checkbox"/> Electric
		Wood/Solid Fuel Appliance:		Exterior Grill or Cooking Appliance:			



**Plumbing:****Fixture Type and Quantity**

Clothes Washer:		Bathtub:		Floor Drain:	
Comb. Sink & Tray:		Dental Lav:		Dental Cuspidor:	
Dishwasher:		Bidet:		Drinking Fountain:	
Floor Sink:		Laundry Tray:		Kitchen Sink:	
Service Sink:		Lavatory:		Shower:	
Other Sink:		Urinal:		Wash Sink:	
Water Closet:		Other:		<b>TOTAL:</b>	

**5. APPLICATION SUBMISSION REQUIREMENTS** *(check after reading)*

☐ This PA UCC application is considered denied until all other approvals have been provided for. This includes but is not limited to: Zoning; Land Development; Grading; PennDOT Highway Occupancy; PA Dept of Labor and Industry; Montgomery County Health Department, etc

☐ Two sets of construction documents submitted for review shall be submitted on a minimum of 24"x36" (ARCH D) size. Additional copies and other documents or approvals may be requested at the determination of the Building Code Official or designee.

**6. CONSTRUCTION VALUATION**

General Site/Building:	\$ 6,200	Electrical:		Mechanical:	
Plumbing:		Fire:		Other:	
				Total:	\$ 6,200

**7. CERTIFICATION**

The applicant hereby certifies that all information on this application is correct and the work will be completed in accordance with the "approved" construction documents and PA Act 45 of 1999 (Pennsylvania Uniform Construction Code) and all other applicable laws of this jurisdiction. The applicant also certifies that the content of the certificate of Workers Compensation Insurance or Affidavit on file with Limerick Township is still in effect with no changes in coverage.

I hereby state the above facts and statements, including any attachments, are to the best of my knowledge, accurate and complete. I further understand that any falsification of information or an incomplete application may be considered reason to deny or reject the application and that the false statements herein are made subject to the penalties of PA Cons. Stat. 4904 relating to un-sworn falsification to authorities.

I certify that the code administrator or the code administrator's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such application and permit(s).



Signature of Owner

5/25/2017


Date

Signature of Agent

Date

Point of Contact:	Kim Hoover	Email:	HOOVER.KATH@COMCAST.NET
Phone #:	484-973-6732	Cell #:	215-439-1705
		Fax #:	

TOWNSHIP USE ONLY BELOW THIS LINE

Zoning: 

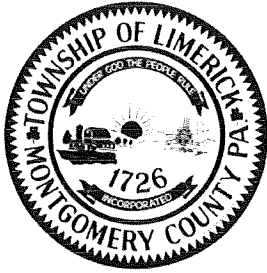
EDU:

UCC: 

Fire:

Permit #

5/30/17



# LIMERICK TOWNSHIP

PLANNING & ZONING DEPARTMENT  
646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX (610) 495-0952  
WWW.LIMERICKPA.ORG

## ZONING INFORMATION

PLEASE ANSWER THE FOLLOWING ADDITIONAL QUESTIONS.

1. SITE ADDRESS 2008 WILLOWWOOD DR. ZONING DISTRICT \_\_\_\_\_
2. SUBDIVISION NAME ASHBROOK ESTATES IS YOUR PROPERTY PART OF AN HOA? ☒ YES ☐ NO
3. BUILDING USE: ☒ PERSONAL/HOBBY/RESIDENTIAL ☐ BUSINESS OR HOME OCCUPATION
4. WILL THERE BE NEW IMPERVIOUS SURFACE? ☐ YES ☒ NO SF \_\_\_\_\_
5. WILL THERE BE EARTH DISTURBANCE? (EXCAVATIONS & GRADING) ☐ YES ☒ NO SF \_\_\_\_\_
6. WILL THERE BE VEGETATION DISTURBANCE > 25,000 SF ☐ YES ☒ NO SF \_\_\_\_\_
7. WILL THERE BE A RELOCATION OF THE WELL OR SEPTIC SYSTEM? ☐ YES ☒ NO
8. WILL THERE BE ADDITIONAL BEDROOMS? ☐ YES ☒ NO

9. PROVIDE THE TOTAL AMOUNT (EXISTING & PROPOSED) BUILDING COVERAGE ON PROPERTY. THIS INCLUDES ANY AREA COVERED WITH ROOFS SUCH AS BALCONIES, PORCHES, ETC. FOR RESIDENTIAL PROJECTS, DO NOT INCLUDE DECKS OR PATIOS. FOR NON-RESIDENTIAL PROJECTS DECKS AND PATIOS SHALL BE INCLUDED.

TOTAL BUILDING COVERAGE: EXISTING: \_\_\_\_\_ SF PROPOSED: 240 SF

LOT SIZE: .64 ACRES

CALCULATE THE PERCENT BUILDING COVERAGE: .86 ACRES

(TOTAL BUILDING COVERAGE DIVIDED BY LOT SIZE)

10. PLOT PLAN REQUIREMENTS CHECKLIST – A PLOT PLAN MUST BE SUBMITTED WITH THE APPLICATION. ALL OF THE FOLLOWING MUST BE CLEARLY ILLUSTRATED AND IDENTIFIED ON THE ATTACHED PLOT PLAN OR NOTED AS NOT PRESENT ON THE PARCEL:

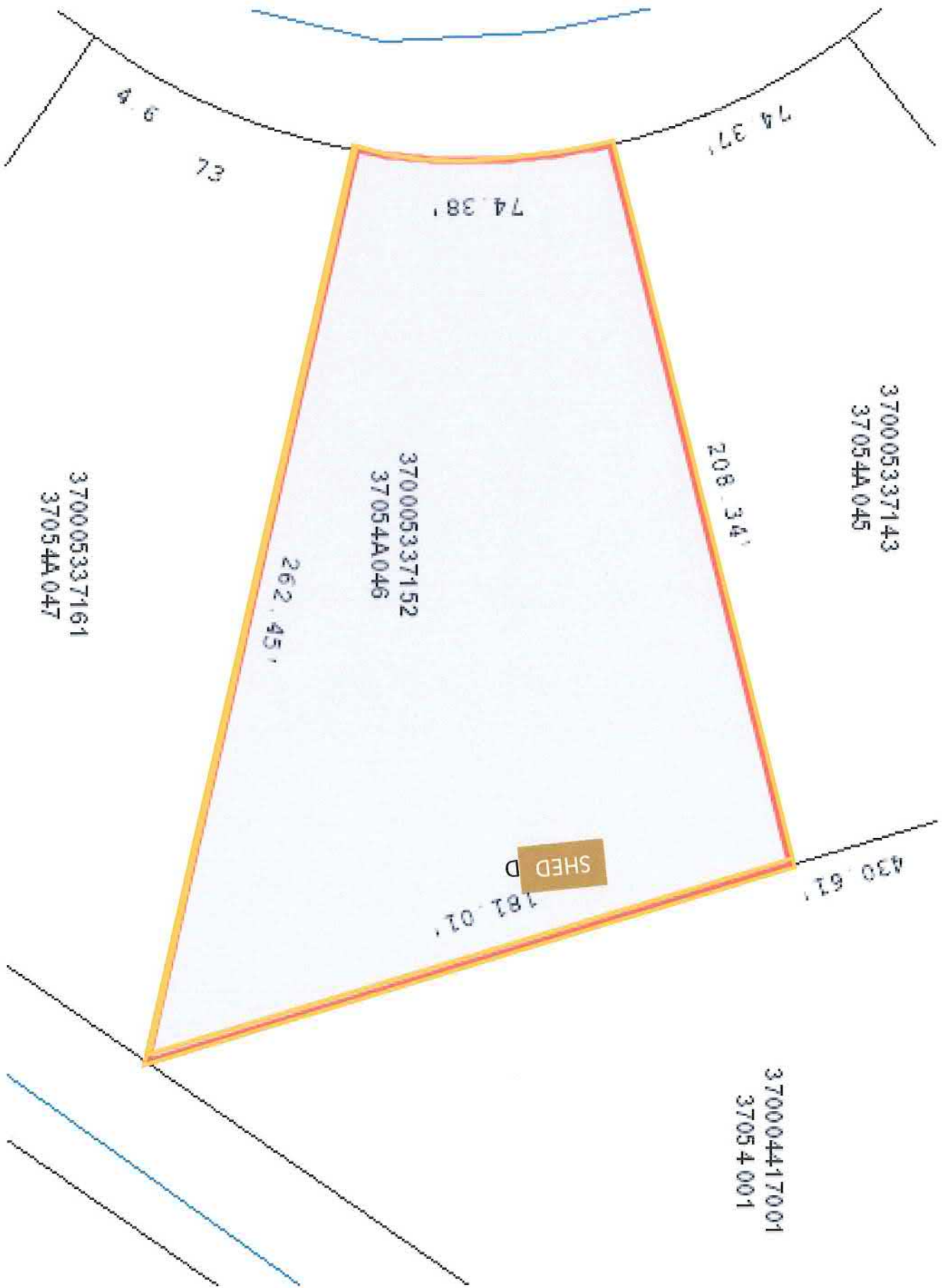
- ☐ 1. PROPERTY LINES INCLUDE BEARING AND DISTANCE INFORMATION, IF READILY AVAILABLE.
- ☐ 2. ALL EASEMENTS AND/OR REQUIRED BUFFER YARDS.
- ☐ 3. OUTLINE OF ALL STRUCTURES (HOUSE, SHEDS, PORCHES, POOLS, ETC.)
- ☐ 4. DISTANCE OF THE PROPOSED STRUCTURE TO THE SIDE AND REAR PROPERTY LINE AND CENTERLINE OF STREET/ROAD.
- ☐ 5. DRIVEWAY LOCATION & WIDTH.
- ☐ 6. EXISTING AND PROPOSED UTILITY LOCATIONS.

### NOTES

1. STRUCTURES CANNOT BE PLACED IN EASEMENTS OR RIGHT-OF-WAYS.
2. WHEN ADDING ADDITIONAL BEDROOMS TO A DWELLING WITH ON-LOT SEPTIC SYSTEMS, APPROVAL FROM MONTGOMERY COUNTY HEALTH DEPARTMENT IS REQUIRED.









**T**HE CAPE COD SERIES IS A PRACTICAL, STURDY DESIGN WITH A CLASSIC APPEARANCE. THE EYE-APPEAL OF THIS MODEL IS ENHANCED BY A STEEPER ROOF PITCH THAN THE AVERAGE STORAGE BUILDING. INCREASING ATTRACTIVENESS, AN 8" ROOF OVERHANG ON ALL SIDES ALSO OFFERS EXTRA WEATHER PROTECTION FOR YOUR STRUCTURE.

CAPE COD MODELS ARE AVAILABLE IN 20 SIZES, IN 5 POPULAR SIDING CHOICES WITH OVER 30 COLORS TO CHOOSE FROM. DOORS AND WINDOWS CAN BE SPACED WHEREVER YOU WANT THEM AT NO ADDITIONAL CHARGE.



*Shown at left (And Front Cover): 10 X 12 CAPE COD*

Featuring Board 'n Batten siding with charcoal stain and oyster gray lifetime shingle roof. Standard with 1 double door, 1 36" single door, and 2 24" x 36" handmade wooden windows.

*Front Cover Feature Photo: 10 X 14 CAPE COD*

Featuring white lifetime vinyl siding, light gray trim, black raised-panel shutters (standard feature), and charcoal shingle roof. Standard with 1 fiberglass double door, 1 fiberglass 36" single door, and 2 24" x 36" aluminum windows.

*Front Cover: 10 X 14 CAPE COD*

Featuring Clay lifetime vinyl siding, red trim, red raised-panel shutters (standard feature), and optional red metal roof. Standard with 1 fiberglass double door, 1 fiberglass 36" single door, and 2 24" x 36" aluminum windows.

*Front Cover: 12 X 20 CAPE COD*

Featuring white lifetime vinyl siding, light gray trim, black raised-panel shutters (standard feature), and charcoal shingle roof. Standard with 1 fiberglass double door, 1 fiberglass 36" single door, and 2 24" x 36" aluminum windows.



*Shown above: 10 X 16 CAPE COD*

Featuring log siding with cedar stain and barkwood lifetime shingle roof. Standard with 1 double door, 1 36" single door, and 2 24" x 36" handmade wooden windows. (Shutters not standard on this model).



*Shown above: 10 X 16 CAPE COD*

Featuring buckskin LP Smart Side 50-year siding, beige trim and doors, avocado shutters and shakewood lifetime shingle roof. Standard with 1 double door, 1 36" single door, 2 24" x 36" aluminum windows, "Z" design wooden shutters, and New England trim and hardware package.



*Shown above: 12 X 20 CAPE COD*

Featuring white lifetime vinyl siding, black trim, black raised-panel shutters (standard feature), and charcoal lifetime shingle roof. Standard with 1 fiberglass double door, 1 fiberglass 36" single door, and 2 24" x 36" aluminum windows.



*Shown at left: 10 X 14 CAPE COD*

Featuring cedar shiplap siding with cedar stain and barkwood lifetime shingle roof. Standard with 1 double door, 1 36" single door, and 2 24" x 36" handmade wooden windows. (Shutters not standard on this model).



*Shown at right: 12 X 24 CAPE COD*

Featuring cedar shiplap siding with honey tone stain. Standard with 1 double door and 1 36" single door. Shown here with 28" x 25" handmade wooden windows. Optional cedar shake shingle roof, flower box, and oval vent.



*Shown at left: 12 X 20 CAPE COD*

Featuring Board 'n Batten siding with mushroom stain. Standard with 1 double door, 1 36" single door, and 2 24" x 36" handmade wooden windows. Optional red metal roof, bottom stone veneer, and transom windows in doors.

*Shown at right: 12 X 24 CAPE COD*

Featuring Board 'n Batten siding with charcoal stain and barkwood lifetime shingle roof. Standard with 1 double door and 1 36" single door. Shown here with 28" x 25" handmade wooden windows. Optional transom windows in doors.



*Shown below: 10 X 14 CAPE COD*

Featuring clay lifetime vinyl siding, white trim and vinyl corners, and shakewood lifetime shingle roof. Optional transom windows over standard windows. New England doors with transom windows, and diamond tread plate at doors.



*Shown at right: 12 X 24 CAPE COD*  
Featuring sand lifetime vinyl siding, clay trim and doors, red raised-panel shutters (standard feature), and weatherwood lifetime shingle roof. Standard with 1 fiberglass double door, 1 fiberglass 36" single door, and 2 24" x 36" aluminum windows. Optional scalloped siding on gables, 4' x 8' porch with railing, 11-lite window in entry door, and 56" deluxe flower boxes.



## IF YOU CAN DREAM IT, WE CAN BUILD IT!

*Endless Possibilities & Combinations*

CHOOSE YOUR SIZE, COLORS, AND LAYOUT AT NO ADDITIONAL CHARGE. ASK YOUR SALES REPRESENTATIVE FOR A COLOR CHOICES CHART, OR SEE OUR WEBSITE AT [PINECREEKSTRUCTURES.COM](http://PINECREEKSTRUCTURES.COM) FOR AVAILABLE COLORS.

DOOR AND WINDOW PLACEMENT CAN ALSO BE CHANGED AT NO ADDITIONAL CHARGE. WE CAN INSTALL SHELVING, LOFTS, WORKBENCHES, OR PEGBOARD. SHELVES AND LOFTS ARE AN INEXPENSIVE WAY TO SUBSTANTIALLY INCREASE YOUR STORAGE CAPACITY, WHILE KEEPING YOUR STORAGE STRUCTURE OR WORKSHOP ORGANIZED.

MANY OTHER UPGRADES ARE AVAILABLE, INCLUDING ADDITIONAL DOORS, LARGER DOORS, GARAGE DOORS, ADDITIONAL WINDOWS, LARGER WINDOWS, RAMPS, FLOOR EDGE PROTECTORS AT DOORWAYS, INSULATION, FINISHED INTERIOR, PORCHES, MANY VENTING CHOICES, AND MUCH MORE. VARIOUS ELECTRICAL PACKAGES ARE AVAILABLE FOR ANY STRUCTURE. YOUR SALES REPRESENTATIVE WILL BE ABLE TO HELP YOU DESIGN YOUR BUILDING FOR YOUR USE REQUIREMENTS.



0325

Limerick Township  
Inter-Office Receipt Transmittal  
Codes Department

Payor Kim Hoover Date 6/2/17  
Development \_\_\_\_\_ Lot # \_\_\_\_\_  
Location 2008 Willowood Dr Block \_\_\_\_\_ Unit \_\_\_\_\_

Check # <u>270</u>	Credit Card _____	Cash _____
--------------------	-------------------	------------

Code Residential:	Amount	Code Commercial:	Amount
101 Building Permit - Residential	<u>75.00</u>	130 Building Permit - Commercial	_____
102 Electrical Permit - Residential	_____	132 Electrical Permit - Commercial	_____
103 Plumbing Permit - Residential	_____	133 Plumbing Permit - Commercial	_____
105 Mechanical Permit - Residential	_____	135 Mechanical Permit - Commercial	_____
119 Building Plan Review - Residential	_____	139 Building Plan Review - Commercial	_____
125 Plan Re-review Fees - Residential	_____	128 Plan Re-review Fees - Commercial	_____
118 Re-inspection Fees - Resident	_____	126 Re-inspection Fees - Commercial	_____
<b>General Building:</b>			
122 \$4 Training Fee	<u>4.00</u>	107 Contractor Registration	_____
127 Act 46 Extension Fee	_____	114 Trailer Park Permit	_____
104 Zoning Use Permit	_____	112 Junk Yard Permit	_____
115 Zoning Permit	_____	113 Transient Retailer/Solicitation	_____
108 Sign Permit	_____	117 Alarm Permit	_____
<b>Drainage:</b>		<b>Zoning:</b>	
106 Drainage Permit	_____	110 Zoning Hearing Fee	_____
123 Eng Commercial - Escrow	_____	116 Petition to Rezone Fee	_____
124 Drainage Residential Fees	_____	904 Conditional Use Hearing	_____
<b>Miscellaneous:</b>		<b>Fire:</b>	
111 Sale of Codes, Maps, Ordinance	_____	301 Annual Fire Protection Fee	_____
901 Photocopy Fees	_____	302 Underground Storage Tank	_____
921 Admin Scanning Fee	_____	303 Fire Reports/Photos	_____
801 Highway Occupancy Permit	_____	304 Fire Protection System	_____
109 Home Occupancy Permit	_____	305 Blasting Permit	_____
908 Recycling Bins	_____	306 Fire Contractor Registration	_____
921 Leaf Bags	_____	307 Plan Review - FCO	_____
903 Miscellaneous Payment	_____	308 Fire Works Permit	_____

PAID

TOTAL PAYMENT

79.00

KIM L HOOVER  
2008 WILLOWWOOD DR  
ROYERSFORD, PA 194681629

270

3-5/310  
128

6/2/2017

Date

Pay to the Order of LIMERICK TOWNSHIP \$ 79.00

Seventy nine and  $\frac{00}{100}$

Dollars



Security  
Features  
Details on  
Back.



PNC Bank, N.A. 020

Kim Hoover

RP

For

⑆031000053⑆ 8612740671⑆ 0270

Holland Clarke

© Disney

MICKEY & FRIENDS



Drainage Permit  
**Limerick Township**  
646 W. Ridge Pike  
Limerick, PA 19468

Phone: 610-495-6432 Fax: 610-495-0952

**Department Use Only**

Permit #: 16-0473

Approved Date: 08/03/2016

Issued By: Greta Martin Washington

**Property Information**

Business Name:  
Address: 2008 WILLOWWOOD DR  
City/State/Zip: ROYERSFORD PA  
Zoning District: R-2 Low Density District  
Parcel/Block/Unit/Lot: 370005337152 054A 0046

**Building Information**

Construction Type: N/A  
Use Group: N/A  
Building Use Area (SF): N/A  
Land Use: Cluster  
Land Dev./Subdivision: 01-20 Ashbrook Estates

**Applicant Information**

Name: Eagle Pool and Spa, Inc.,  
Address: 3246 Ridge Pike  
City/State/Zip: Eagleville PA 19403  
Telephone: 610-631-1950

**Owner Information**

Name: HOOVER KIM L & MARIAN R,  
Address: 2008 WILLOWWOOD DR  
City/State/Zip: Royersford PA 19468  
Telephone: 610-792-4436

This permit is approved in accordance with Plans submitted, Limerick Township Chapter 151 -Limerick Township Stormwater Management Ordinance and with the following conditions:

- A. This Permit conveys no right to occupy the legal right-of-way of any street, alley or sidewalk or any part thereof, either temporarily or permanently. Encroachments onto the roadway or other public property, without first obtaining a Roadway Opening Permit from the Superintendent of Public Works are prohibited.
- B. This Permit is independent of and does not supersede any approvals from other applicable regulatory authorities or covenants running with the land.
- C. Approved plans shall be available on the site at all times and shall be subject to inspection and inquiry.
- D. The applicant shall comply with the requirements of the PA One Call System (1-800-242-1776).
- E. Construction Activity is permitted between the hours of 6:30 am and 8:00 pm, Monday through Friday and between the hours of 8:30 am and 4:30 pm on Saturday and Sunday.
- F. Silt fence shall be installed down slope of all disturbed areas. The silt fence shall be maintained until the area is permanently stabilized (70 percent vegetative cover has been achieved).
- G. The applicant shall provide access to the site for Township Officials, as required. The contractor shall call for inspection of all Erosion & Sediment control devices prior to commencement of excavations.
- H. The applicant is responsible for keeping the roadway clean at all times for the duration of the project.
- I. This permit does not constitute a building permit and grants no authority to construct any buildings or structures which are regulated under the Zoning Ordinance or the Pennsylvania Uniform Construction Code.

**Description of Work:**

**Project Cost:**

Drainage Permit Application for an in ground swimming pool per plans submitted to Limerick Township and recommendation letter from Pennoni dated August 2, 2016.

**Permit Fees**

Description	Work Being Done By	Units	Sum
Drainage Permit Fee (Residential)	Eagle Pool and Spa, Inc.,	0	60.00
Drainage Permit Res. Engineering/Inspe	3246 Ridge Pike	0	425.00
	Eagleville PA 19403		

Signature: \_\_\_\_\_

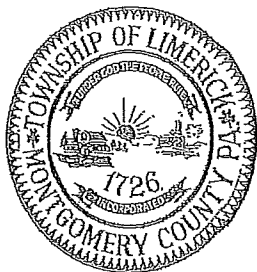
Date: \_\_\_\_\_

**Grand Total:**

485.00

**PAID**





# LIMERICK TOWNSHIP

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX 610-495-0952  
WWW.LIMERICKPA.ORG

## DRAINAGE PERMIT INSPECTION CHECKLIST

Property Address 2008 Willowwood Drive

Permit No. 16-0473

Inspections are made: Monday – Friday, 8:00 am to 5:00 pm. All inspections require 48 hour notice.

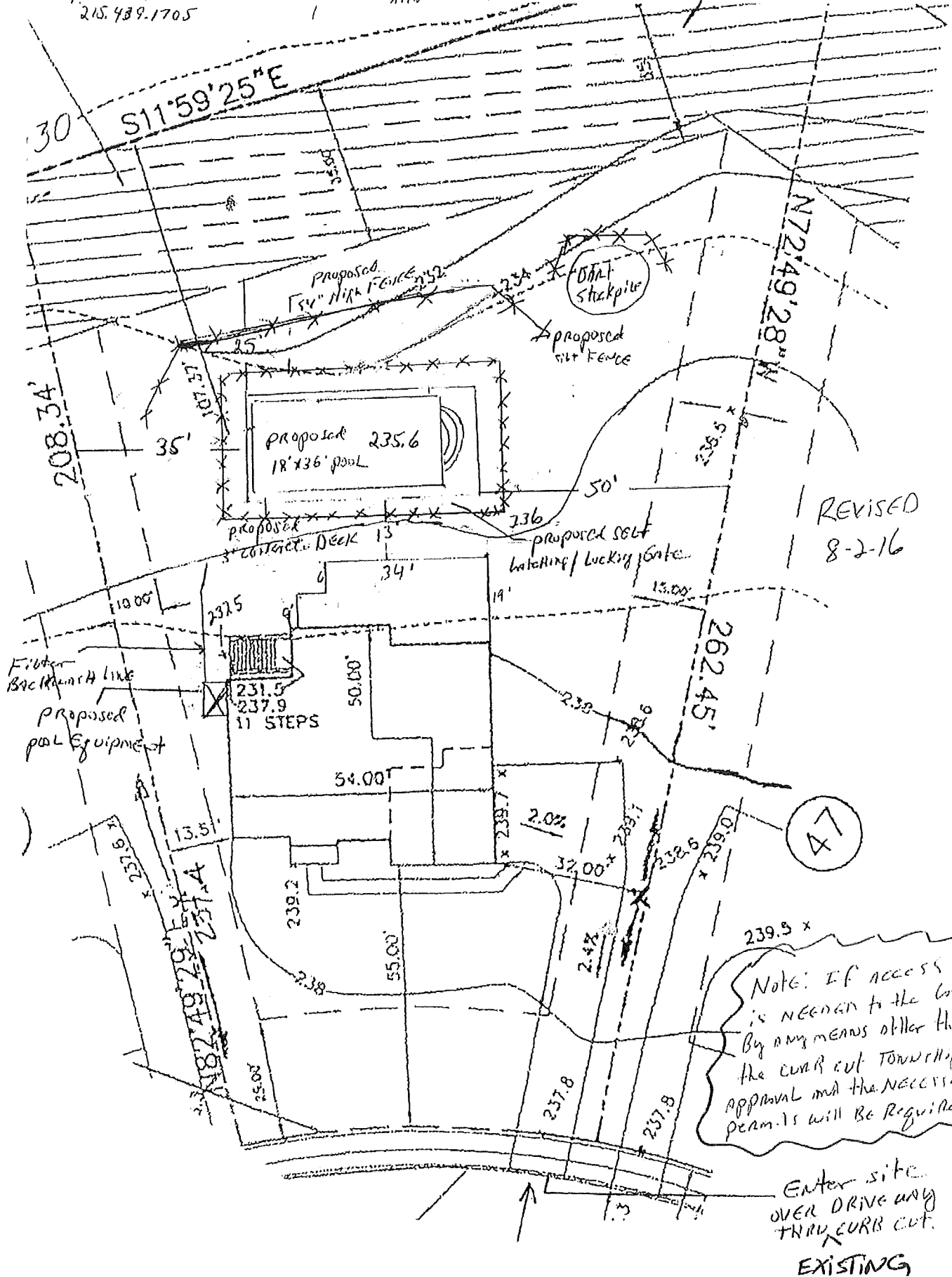
For projects with associated with a construction permit, please be advised that Limerick Township does NOT issue Temporary Certificates of Occupancy. Please plan your project schedule accordingly.

REQUIRED INSPECTION		DESCRIPTION	DATE COMPLETED
<input type="checkbox"/>	1.	Road Opening permit No. _____ ( <input type="checkbox"/> Township <input type="checkbox"/> State <input type="checkbox"/> N/A private RD)	N/A
<input checked="" type="checkbox"/>	2.	Pre-Disturbance Erosion & Sediment Control Inspection – Inspection performed prior to earth disturbance and must be installed according to approved drainage permit plan. Contact Code Services Department @ 610-495-6432 to schedule appointment.  <input type="checkbox"/> Silt fence <input type="checkbox"/> Construction entrance <input type="checkbox"/> _____	
<input type="checkbox"/>	3.	Limerick Township House/Building Placement Form or As-built plan – For new dwellings, the Form must be completed by the responsible professional and ready to submit to the building inspector at the time of Footing Inspection.	N/A
<input type="checkbox"/>	4.	Public Water Service Connection– Inspection performed BEFORE backfilling the trench. Pipe must be visible. Contact PA American; Bob Tagert @ 610-495-3080.  <input type="checkbox"/> Service(s) <input type="checkbox"/> Meter	N/A
<input type="checkbox"/>	5.	Public Sewer Connection– Inspection performed BEFORE backfilling the trench. Pipe must be visible. Contact Township Sewer Department; Patty @ 610-948-5750.  NOTE: Water Service & Sewer Inspections can be performed concurrently.	N/A
<input type="checkbox"/>	6.	Private Sewer & Water Service – Permits administered by Montgomery County Department of Health, contact Vince Smith @ 610-970-5040 ext. 4218.  On-lot Septic Permit No: _____ Well Permit No: _____	N/A
<input checked="" type="checkbox"/>	7.	Final Site Drainage Inspection – A Final Inspection will NOT be conducted without approvals submitted by all required departments/agencies for items listed above. Please schedule final drainage inspection 10 days in advance of desired issuance of a building Certificate of Occupancy, as applicable. Contact Code Services Department @ 610-495-6432.	

Kim & MARION HOOVER  
2008 Willow Wood Dr.  
Ryeasford, PA. 19468  
215.489.1705

Early Ave + 500, LLC  
3246 Ridge Pike  
Englewood, N.J. 07631  
ATTN: JOHN KLEBA 610.888.9682

THIS AREA TO BE USED  
RESTRICTED TO REMAIN  
OPEN



FOR: Kim + MARION HOOPER  
2008 Willow Wood Dr.  
Royerston, P.A. 19468  
215.439.1705

prepared By: Eagle Pool & Spa, Inc.  
3246 Ridge Pike  
Eagleville, PA 19403  
Attn: JOHN KLEBA 610.888.9682

Lot Square Footage 28,063

Impervious Surface Calculations:

Existing DWELLING 2039

Existing DRIVEWAY 1050

Existing WALKWAY 175

TOTAL Existing 3264

proposed pool + deck 942

percent of total impervious surfaces Existing =  $3264 / 28,063 = 11.6\%$

percent of TOTAL IMPERVIOUS  
Existing and proposed =  $4206 / 28,063 = 14.9\%$

### Construction Sequence

- PA ONE call to be made by the contractor prior to the start of construction. Inspect Erosion & Sedimentation controls DAILY especially after heavy storms. Replace & Repair erosion and sedimentation controls as necessary.

1. Construct construction Entrance
2. Install Silt Fence
3. Clear proposed construction area of Existing Vegetation
4. Strip a Pile Topsoil
5. Excavate & Construct
6. Finish Grading placement of Soil
7. Reconstruct construction Entrance
8. Permanent seeding REMOVE controls after 70% Vegetative state has BEEN achieved or permission by the county conservation District.
9. Immediately RESTABLISH any RE disturbed AREAS.



August 2, 2016

LMRK 0500.502

Greta Martin Washington, Director of Community Planning  
Limerick Township  
646 W. Ridge Pike  
Limerick, PA 19468

**RE: 2008 Willowwood Drive  
Drainage Permit & Erosion Control Review  
Application #16-0473**

Dear Ms. Martin Washington:

We have received a Drainage Permit Plan dated July 25, 2016 and last revised August 2, 2016, prepared and submitted by Eagle Pool & Spa, Inc. for the construction of an in-ground swimming pool located at 2008 Willowwood Drive in Limerick Township, Montgomery County, PA.

We have performed a review of the above referenced plan and have no further comments; **therefore, we recommend issuance of a drainage permit for this project.**

If you have any questions or concerns with this submittal, please do not hesitate to contact me.

Sincerely,

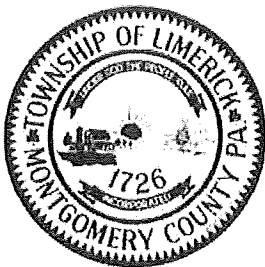
**PENNONI**



Khaled R. Hassan, PE  
Township Engineer

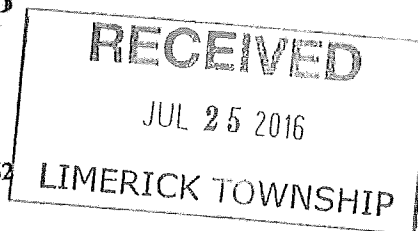
Enclosure

cc: Marianne Egan, Assistant Township Secretary  
Bob Loeper, Director of Code Services  
Joseph Antonelli, Assistant Zoning Officer  
Bill Bradford, Public Works Superintendent  
~~Bill Iannozi, Carlton Pools, Design Engineer~~  
John Kleba, Eagle Pool & Spa, Inc., Design Professional



## LIMERICK TOWNSHIP

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468  
PHONE (610) 495-6432 FAX (610) 495-0952  
WWW.LIMERICKPA.ORG



Permit # 16-0473

### DRAINAGE PERMIT APPLICATION

(LIMERICK TOWNSHIP CHAPTER 157)

1 COPY OF PERMIT AND 2 COPIES OF THE PLANS REQUIRED

ALL PLANS SHALL BE DATED WITH ALL REVISIONS AND MUST BEAR THE NAMES OF: (1) THE PERSON WHO PREPARED THE PLAN; (2) THE APPLICANT; AND (3) THE OWNER OF THE LAND. PERMIT FEES MUST BE SUBMITTED WITH THE PERMIT APPLICATION. SUBMIT ONE CHECK FOR THE COMBINED FEES AND ESCROW PAYABLE TO "LIMERICK TOWNSHIP".

#### 1. APPLICANT PROPOSES THE FOLLOWING ACTIVITIES:

- ☒ DEVELOPMENT (NEW) ☐ RE-DEVELOPMENT ☐ EARTH DISTURBANCE ☐ VEGETATION DISTURBANCE  
☒ IMPERVIOUS SURFACE 942 SF ☐ IMPERVIOUS SURFACE \_\_\_\_\_ SF (> OF 25,000 SF \_\_\_\_\_)

SCOPE OF WORK Install an 18'x36' Vinyl liner inground swimming pool.

PROPERTY ADDRESS 2008 Willow Wood Dr.

SUBDIVISION \_\_\_\_\_

TAX MAP PARCEL NO. 3708-05337-15-2

ESTIMATED START DATE ASAP

ESTIMATED COMPLETION DATE ASAP

#### 2. IDENTIFICATION INFORMATION

APPLICANT NAME Eagle Pool & Spa, Inc. ATTN: JOHN KLEBA PHONE 610.888.9682  
ADDRESS 3246 Ridge Pike Eagleville, PA. 19403  
STREET, CITY, STATE, ZIP  
EMAIL John@EaglePoolSpa.com

OWNER NAME (IF DIFFERENT FROM APPLICANT NAME) Jim + Marnie Hoover PHONE 215.439.1705  
ADDRESS 2008 Willow Wood Dr. Royceford, PA. 19468  
STREET, CITY, STATE, ZIP  
EMAIL \_\_\_\_\_

CONTRACTOR NAME Eagle Pool & Spa, Inc. ATTN: JOHN KLEBA PHONE 610.888.9682  
ADDRESS 3246 Ridge Pike Eagleville, PA. 19403  
STREET, CITY, STATE, ZIP  
EMAIL John@EaglePoolSpa.com

DESIGN PROFESSIONAL NAME \_\_\_\_\_ PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
STREET, CITY, STATE, ZIP  
EMAIL \_\_\_\_\_

NAME OF INDIVIDUAL INSPECTING BMP INSTALLATION \_\_\_\_\_ PA LICENSE NO.: \_\_\_\_\_

# DRAINAGE PERMIT APPLICATION

PROPERTY ADDRESS 2008 Willow Wood Dr.

## 3. PLANS AND DOCUMENTATION REQUIRED – GENERAL (SEE CHECKLIST ATTACHED FOR SPECIFIC REQUIREMENTS)

A. DRAINAGE PLAN THE PLAN SHALL SHOW ALL OF THE FOLLOWING INFORMATION WITH THE APPLICATION: PRESENT CONTOURS; PROPOSED CONTOURS; ALL LOT LINES; MINIMUM BUILDING SETBACK LINES; STREETS; DRIVEWAYS; BUILDING(S) WITH FINISHED FLOOR AND GARAGE FLOOR ELEVATIONS (BASEMENT FLOOR IF A WALK-OUT BASEMENT); TREES OVER 6" IN DIAMETER; DESCRIPTION OF SOIL TYPE, DOCUMENTED WETLANDS, AND CLASSIFICATION DETAILS WITH LOCATION OF PROPOSED DRAINAGE FACILITIES.

ALL STORMWATER CALCULATIONS, AS REQUIRED BY THE TOWNSHIP ENGINEER, SHALL COMPLY WITH CHAPTER 157 OF THE LIMERICK TOWNSHIP CODE, ENTITLED, LIMERICK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

PLAN TITLE HOOPER  
DATE 7-25-16 LAST REVISION \_\_\_\_\_  
REGISTERED DESIGN PROFESSIONAL \_\_\_\_\_

B. EROSION AND SEDIMENTATION PLAN IF AN EROSION AND SEDIMENTATION CONTROL PLAN HAS NOT PREVIOUSLY BEEN APPROVED, IT MUST ACCOMPANY THIS APPLICATION, IF APPLICANT IS PROPOSING ACTIVITIES INVOLVING EARTH DISTURBANCE. LOCATION OF ACCESS FROM THE ROAD MUST BE SHOWN ON THE PLANS.

EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN PREVIOUSLY APPROVED (LETTER ATTACHED) ☐ YES ☒ NO

EROSION AND SEDIMENTATION CONTROL PLAN ATTACHED. ☒ YES ☐ NO

TITLE HOOPER  
DATE 7-25-16 DATE APPROVED \_\_\_\_\_

C. ADDITIONAL DOCUMENTATION TO BE SUBMITTED WITH APPLICATION: (OR PRIOR TO ISSUANCE IF NOT AVAILABLE AT TIME OF APPLICATION)

SUBMITTED N/A

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | PROPOSED SCHEDULE OF CONSTRUCTION   |
| <input type="checkbox"/>            | <input type="checkbox"/> | PROPOSED SCHEDULE OF BMP INSPECTIONS TO BE PERFORMED BY APPLICANT'S ENGINEER  |
| <input type="checkbox"/>            | <input type="checkbox"/> | NPDES PERMIT ATTACHED (IF EARTH DISTURBANCE IS GREATER THAN ONE ACRE OF LAND) |
| <input type="checkbox"/>            | <input type="checkbox"/> | DEP GENERAL PERMITS   |
| <input type="checkbox"/>            | <input type="checkbox"/> | DEP JOINT PERMIT APPLICATION (IF WETLANDS ARE DISTURBED)                      |
| <input type="checkbox"/>            | <input type="checkbox"/> | BMP O&M AGREEMENT   |

ACCESS WILL BE TAKEN FROM:

STATE ROAD NAME \_\_\_\_\_

- |                          |                          |                                  |
|--------------------------|--------------------------|----------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | PENNDOT DECLARATION OF ADEQUACY  |
| <input type="checkbox"/> | <input type="checkbox"/> | PENNDOT HIGHWAY OCCUPANCY PERMIT |
|                          |                          | TOWNSHIP ROAD NAME _____         |
| <input type="checkbox"/> | <input type="checkbox"/> | TOWNSHIP ROAD OPENING PERMIT-    |



**DRAINAGE PERMIT APPLICATION**PROPERTY ADDRESS 2008 Willow Wood Dr.**4. PERMIT FEES**

Residential	
a. Permit Fee	\$60.00
b. Engineering/Inspection Fee	\$425.00
Multi-Use Residential	
a. Permit Fee	\$130.00/building
b. Engineering Review/Inspection Escrow	\$825.00/building
Non-Residential/Commercial/Industrial.	
0 - 5 Acres	
a. Permit Fee	\$85.00
b. Engineering Review/Inspection Escrow	\$1,100.00
5 or More Acres	
a. Permit Fee	\$85.00 + \$12.00/Acre
b. Engineering Review/Inspection Escrow	\$1,100.00
(Escrow may be waived if construction escrow is posted)	

**5. CERTIFICATION & ACKNOWLEDGEMENT**

I HEREBY STATE THE ABOVE FACTS AND STATEMENTS, INCLUDING ANY ATTACHMENTS ARE TO THE BEST OF MY KNOWLEDGE, ACCURATE AND COMPLETE. I FURTHER UNDERSTAND THAT ANY FALSIFICATION OF INFORMATION OR AN INCOMPLETE APPLICATION MAY BE CONSIDERED REASON TO REJECT THE APPLICATION AND THAT THE FALSE STATEMENTS HEREIN ARE MADE SUBJECT TO THE PENALTIES OF PA CONS. STAT. 4904 RELATING TO UN-SWORN FALSIFICATION TO AUTHORITIES.

NO DRAINAGE PERMIT SHALL BE ISSUED FOR THE FILLING OF MATERIALS OTHER THAN CLEAN FILL.

PLEASE BE ADVISED, DEPOSIT OF THE CHECKS REPRESENTING THE FEE(S) AND ENGINEERING ESCROW AMOUNTS FOR THIS APPLICATION DOES NOT CONSTITUTE APPROVAL OR GRANTING OF SAME BY LIMERICK TOWNSHIP. REGARDING THE ESCROW, THE APPLICANT IS RESPONSIBLE FOR THE ACTUAL COST. FUNDS SHALL BE REPLENISHED AT REQUEST OF TOWNSHIP. AT COMPLETION OF PROJECT, BALANCE OF ESCROW FUNDS WILL BE RETURNED UPON REQUEST.

SIGNATURE OF APPLICANT

*John L. CBA, GM*  
*John L. CBA, GM*  
*John L. CBA, GM*

DATE 7-25-16☒ OWNER ☐ APPLICANT ☒ CONTRACTOR ☐ DESIGN PROFESSIONAL

TOWNSHIP USE ONLY BELOW THIS LINE

DRAINAGE PLAN APPROVAL

Khaled Hassan

DATE

8/2/16

REVISION DATE OF APPROVED DRAINAGE PLAN \_\_\_\_\_

E&amp;S PLAN APPROVAL \_\_\_\_\_

DATE \_\_\_\_\_

REVISION DATE OF APPROVED E&amp;S PLAN \_\_\_\_\_

**Limerick Township  
Inter-Office Receipt Transmittal  
Codes Department**

Payor <u>Eagle Pool + Spa</u>	Date <u>7-25-16</u>			
Development _____	Lot # _____			
Location <u>2008 Willowood Dr.</u>	Block _____ Unit _____			
<div style="border: 1px solid black; padding: 5px;"><table border="0" style="width: 100%;"><tr><td style="width: 40%;">Check # <u>46407</u></td><td style="width: 30%;">Credit Card _____</td><td style="width: 30%;">Cash _____</td></tr></table></div>		Check # <u>46407</u>	Credit Card _____	Cash _____
Check # <u>46407</u>	Credit Card _____	Cash _____		

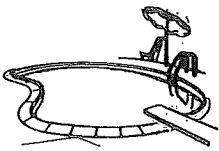
Code Residential:		Amount	Code Commercial:		Amount
101	Building Permit - Residential	_____	130	Building Permit - Commercial	_____
102	Electrical Permit - Residential	_____	132	Electrical Permit - Commercial	_____
103	Plumbing Permit - Residential	_____	133	Plumbing Permit - Commercial	_____
105	Mechanical Permit - Residential	_____	135	Mechanical Permit - Commercial	_____
119	Building Plan Review - Residential	_____	139	Building Plan Review - Commercial	_____
125	Plan Re-review Fees - Residential	_____	128	Plan Re-review Fees - Commercial	_____
118	Re-inspection Fees - Resident	_____	126	Re-inspection Fees - Commercial	_____
<b>General Building:</b>					
122	\$4 Training Fee	_____	107	Contractor Registration	_____
127	Act 46 Extension Fee	_____	114	Trailer Park Permit	_____
104	Use & Occupancy Permit	_____	112	Junk Yard Permit	_____
115	Zoning Permit	_____	113	Transient Retailer/Solicitation	_____
108	Sign Permit	_____	117	Alarm Permit	_____
<b>Drainage:</b>			<b>Zoning:</b>		
106	Drainage Permit	<u>60.00</u>	110	Zoning Hearing Fee	_____
123	Eng Commercial - Escrow	_____	116	Petition to Rezone Fee	_____
124	Drainage Residential Fees	<u>425.00</u>	904	Conditional Use Hearing	_____
<b>Miscellaneous:</b>			<b>Fire:</b>		
111	Sale of Codes, Maps, Ordinance	_____	301	Annual Fire Protection Fee	_____
901	Photocopy Fees	_____	302	Underground Storage Tank	_____
921	Admin Scanning Fee	_____	303	Fire Reports/Photos	_____
801	Highway Occupancy Permit	_____	304	Fire Protection System	_____
109	Home Occupancy Permit	_____	305	Blasting Permit	_____
908	Recycling Bins	_____	306	Fire Contractor Registration	_____
921	Leaf Bags	_____	307	Plan Review - FCO	_____
903	Miscellaneous Payment	_____	308	Fire Works Permit	_____

TOTAL PAYMENT

485.00

ORIGINAL DOCUMENT PRINTED ON CHEMICAL REACTIVE PAPER WITH MICROPRINTED BORDER

46407



**EAGLE POOL & SPA, INC.**

3246 RIDGE PIKE  
EAGLEVILLE, PA 19408  
(610) 631-1950  
FAX (610) 631-0723



3-50/310

7-25-16

PAY  
TO THE  
ORDER OF

Limerick Township  
Four Hundred Eighty Five and 1/2

\$ 485<sup>00</sup>

DOLLARS

AUTHORIZED SIGNATURE

MEMO

THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED INK WILL DISAPPEAR WITH HEAT.

⑈046407⑈ ⑆031000503⑆ 2000045906921⑈

SAFEGUARD SECUR  
SAFEGUARD SECUR  
IM





## Township of Limerick

646 W. Ridge Pike  
Limerick, PA 19468  
(610) 495-0951  
Fax: (610) 495-0952

### Certificate of Occupancy

**Building Permit #** 16-0499

**Permit Type:** UCC Permit for Swimming Pool

**Property Address:** 2008 WILLOWOOD DR

**Block:** 054A

**Unit:** 046

**Subdivision/LD:** 01-20 Ashbrook Estates

**Building Code Edition:** 2009 IRC

**Use Group:** U

**Land Use:** Cluster

**Construction Type:** VB

**Building Use:** Single Family Dwelling

**Description of Structure:** In Ground Swimming Pool

**Automatic Sprinkler System:** N/A

**Automatic Sprinkler System Required:** No

Owner: HOOVER KIM L & MARIAN R,  
2008 WILLOWOOD DR

Royersford PA 19468

Permit Applicant: HOOVER KIM L & MARIAN R,  
2008 WILLOWOOD DR

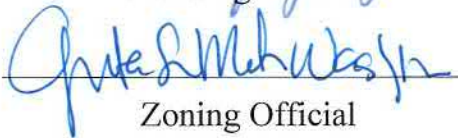
Royersford PA 19468

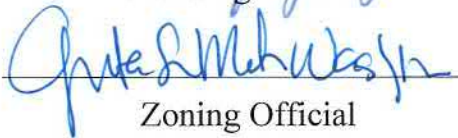
Conditions:

Board of Appeals Decision:

Permission is hereby granted to occupy the said description of structure/permit type at the above listed property address in accordance with, and subject to, the provisions of the PA Uniform Construction Code, building codes, public works standards, fire codes, and zoning ordinance.

  
Building Official

  
Zoning Official

  
Final Inspection

  
Issue Date

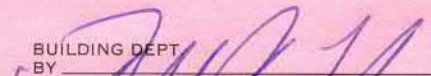
# BUILDING PERMIT

AMOUNT  
PAID

DEPT. FILE COPY

ck #11782

VALIDATION

DATE October 10, 2003 PERMIT NO. 2003-613  
 APPLICANT Heritage Construction ADDRESS (NO.) (STREET) GC03-011  
 (CONTR'S LICENSE)  
 PERMIT TO New Building (TYPE OF IMPROVEMENT) (    ) STORY SFD NUMBER OF DWELLING UNITS     
 (PROPOSED USE)  
 AT (LOCATION) 2008 Willowood Drive ZONING DISTRICT R2  
 (NO.) (STREET)  
 BETWEEN Royersford Road AND Linfield-Trappe Rd.  
 (CROSS STREET) (CROSS STREET)  
 SUBDIVISION Ashbrook Estates LOT 46 BLOCK 54A/46 LOT SIZE 28,063  
 BUILDING IS TO BE    FT. WIDE BY    FT. LONG BY    FT. IN HEIGHT AND SHALL CONFORM IN CONSTRUCTION  
 TO TYPE    USE GROUP    BASEMENT WALLS OR FOUNDATION    (TYPE)  
 REMARKS: Build single family dwelling per plans submitted and Limerick Township Building/  
Zoning Regulations.  
 AREA OR VOLUME 3,657 ESTIMATED COST \$ 76,653.00 PERMIT FEE \$ 914.25  
 (CUBIC/SQUARE FEET)  
 OWNER Heritage Construction  
 ADDRESS 50 Sunnybrook Rd., Pottstown, PA 19464  
 BUILDING DEPT BY 

(Affidavit on reverse side of application to be completed by authorized agent of owner)



DEPARTMENTAL APPROVAL FOR CERTIFICATE  
of OCCUPANCY and COMPLIANCE

To be filled in by each division indicated hereon  
upon completion of its final inspection.

BUILDINGS

Permit No. \_\_\_\_\_

Approved by [Signature]

Date 8-14-01

Remarks \_\_\_\_\_

PLUMBING

Permit No. \_\_\_\_\_

Approved by [Signature]

Date 8-14-01

Remarks \_\_\_\_\_

ELECTRICAL

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

OTHER

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

OTHER

Permit No. \_\_\_\_\_

Approved by \_\_\_\_\_

Date \_\_\_\_\_

Remarks \_\_\_\_\_

CERTIFICATE ISSUED

DATE ck #11782

**BUILDING PERMIT -  
CERTIFICATE OF OCCUPANCY**

APPLICANT Heritage Construction DATE October 10, 2003 PERMIT NO. 2003-613  
ADDRESS \_\_\_\_\_ (NO.) (STREET) GC03-011 (CONTR'S LICENSE)

PERMIT TO New Building (TYPE OF IMPROVEMENT) ( ) STORY SFD (PROPOSED USE) NUMBER OF DWELLING UNITS \_\_\_\_\_

AT (LOCATION) 2008 Willowood Drive (NO.) (STREET) ZONING DISTRICT R2  
BETWEEN Royersford Road (CROSS STREET) AND Linfield-Trappe Rd. (CROSS STREET)

SUBDIVISION Ashbrook Estates LOT 46 BLOCK 54A/46 LOT SIZE 28,063

BUILDING IS TO BE \_\_\_\_\_ FT. WIDE BY \_\_\_\_\_ FT. LONG BY \_\_\_\_\_ FT. IN HEIGHT AND SHALL CONFORM IN CONSTRUCTION

TO TYPE \_\_\_\_\_ USE GROUP \_\_\_\_\_ BASEMENT WALLS OR FOUNDATION \_\_\_\_\_ (TYPE)

REMARKS: Build single family dwelling per plans submitted and Limerick Township Building/  
Zoning Regulations.

AREA OR VOLUME 3,657 (CUBIC/SQUARE FEET)

OWNER Heritage Construction  
ADDRESS 50 Sunnybrook Rd., Pottstown, PA 19464

TO BE POSTED ON PREMISES  
SEE REVERSE SIDE FOR CONDITIONS OF CERTIFICATE



2003-613

CK #11782  
209 Fee CK #11784  
GP 2008)APPLICATION FOR  
PLAN EXAMINATION AND  
BUILDING PERMIT

Barrington Model

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, and IX.			
I. LOCATION OF BUILDING	AT (LOCATION) <u>2008 Willowood Drive</u> (NO.) (STREET)	ZONING DISTRICT <u>R2</u>	
	BETWEEN <u>Royersford Road</u> AND <u>Linfield-Trappe Road</u> (CROSS STREET) (CROSS STREET)	OCT 08 2003 CODE ENFORCEMENT LIMERICK TOWNSHIP 54A/46	
	SUBDIVISION <u>Ashbrook Estates</u> LOT <u>46</u> BLOCK <u>435</u>		
II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D			
A. TYPE OF IMPROVEMENT		D. PROPOSED USE - For "Wrecking" most recent use	
1 <input checked="" type="checkbox"/> New building 2 <input type="checkbox"/> Addition (If residential, enter number of new housing units added, if any, in Part D, 13) 3 <input type="checkbox"/> Alteration (See 2 above) 4 <input type="checkbox"/> Repair, replacement 5 <input type="checkbox"/> Wrecking (If multifamily residential, enter number of units in building in Part D, 13) 6 <input type="checkbox"/> Moving (relocation) 7 <input type="checkbox"/> Foundation only		Residential 12 <input checked="" type="checkbox"/> One family 13 <input type="checkbox"/> Two or more family - Enter number of units - - - - - 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter number of units - - - - - 15 <input type="checkbox"/> Garage 16 <input type="checkbox"/> Carport 17 <input type="checkbox"/> Other - Specify _____ _____ _____	
B. OWNERSHIP		Nonresidential	
8 <input checked="" type="checkbox"/> Private (individual, corporation, nonprofit institution, etc.) 9 <input type="checkbox"/> Public (Federal, State, or local government)		18 <input type="checkbox"/> Amusement, recreational 19 <input type="checkbox"/> Church, other religious 20 <input type="checkbox"/> Industrial 21 <input type="checkbox"/> Parking garage 22 <input type="checkbox"/> Service station, repair garage 23 <input type="checkbox"/> Hospital, institutional 24 <input type="checkbox"/> Office, bank, professional 25 <input type="checkbox"/> Public utility 26 <input type="checkbox"/> School, library, other educational 27 <input type="checkbox"/> Stores, mercantile 28 <input type="checkbox"/> Tanks, towers 29 <input type="checkbox"/> Other - Specify _____	
C. COST		Nonresidential - Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for, department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.	
10. Cost of improvement, <u>\$89,425</u> To be installed but not included in the above cost a. Electrical, <u>\$53.00</u> b. Plumbing, <u>\$250.00</u> c. Heating, air conditioning, <u>\$123.50</u> d. Other (elevator, etc.), <u>\$35.00</u> 11. TOTAL COST OF IMPROVEMENT <u>\$1375.75</u>		(Omit cents) <u>\$74,453</u> <u>2,150</u> <u>5,000</u> <u>5,675</u> <u>\$89,478</u>	
Living Area - <u>3206</u> Garage <u>451</u> <u>3657</u>			
III. SELECTED CHARACTERISTICS OF BUILDING - For new buildings and additions, complete Parts E - L; for wrecking, complete only Part J, for all others skip to IV.			
E. PRINCIPAL TYPE OF FRAME		G. TYPE OF SEWAGE DISPOSAL	
30 <input type="checkbox"/> Masonry (wall bearing) 31 <input checked="" type="checkbox"/> Wood frame 32 <input type="checkbox"/> Structural steel 33 <input type="checkbox"/> Reinforced concrete 34 <input type="checkbox"/> Other - Specify _____		40 <input checked="" type="checkbox"/> Public or private company 41 <input type="checkbox"/> Private (septic tank, etc.)	
F. PRINCIPAL TYPE OF HEATING FUEL		H. TYPE OF WATER SUPPLY	
35 <input checked="" type="checkbox"/> Gas 36 <input type="checkbox"/> Oil 37 <input type="checkbox"/> Electricity 38 <input type="checkbox"/> Coal 39 <input type="checkbox"/> Other - Specify _____		42 <input checked="" type="checkbox"/> Public or private company 43 <input type="checkbox"/> Private (well, cistern)	
I. TYPE OF MECHANICAL		J. DIMENSIONS	
Will there be central air conditioning? 44 <input checked="" type="checkbox"/> Yes 45 <input type="checkbox"/> No Will there be an elevator? 46 <input type="checkbox"/> Yes 47 <input checked="" type="checkbox"/> No		48. Number of stories..... 2 49. Total square feet of floor area, all floors, based on exterior dimensions..... 50. Total land area, sq. ft. ....	
		K. NUMBER OF OFF-STREET PARKING SPACES	
		51. Enclosed..... 52. Outdoors..... 2	
		L. RESIDENTIAL BUILDINGS ONLY	
		53. Number of bedrooms..... 4 54. Number of bathrooms { Full..... 2 Partial..... 2	

NO. STREET




ent use)

#### IV. IDENTIFICATION - To be completed by all applicants

Name	Mailing address - Number, street, city, and State	ZIP code	Tel. No.
1. Owner or Lessee	Heritage-Ashbrook Estates L.P.	50 Sunnybrook Road Pottstown, PA	19464 484-944 5677
2. Contractor	Heritage Const. Co., Inc.	Same as above	Builder's License No.
3. Architect or Engineer	Omnia Group	323 S. York Road Hatboro, PA	19040 215-442 17800

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Signature of applicant	Address	Application date
	50 Sunnybrook Road, Pottstown	9/19/03

DO NOT WRITE BELOW THIS LINE

#### V. PLAN REVIEW RECORD - For office use

Plans Review Required	Check	Plan Review Fee	Date Plans Started	By	Date Plans Approved	By	Notes
BUILDING		\$					
PLUMBING		\$					
MECHANICAL		\$					
ELECTRICAL		\$					
OTHER		\$					

#### VI. ADDITIONAL PERMITS REQUIRED OR OTHER JURISDICTION APPROVALS

Permit or Approval	Check	Date Obtained	Number	By	Permit or Approval	Check	Date Obtained	Number	By
BOILER					PLUMBING				
CURB OR SIDEWALK CUT					ROOFING				
ELEVATOR					SEWER				
ELECTRICAL					SIGN OR BILLBOARD				
FURNACE					STREET GRADES				
GRADING					USE OF PUBLIC AREAS				
OIL BURNER					WRECKING				
OTHER					OTHER				

#### VII. VALIDATION

Building Permit number _____ Building Permit issued _____ 19____ Building Permit Fee \$ _____ Certificate of Occupancy \$ _____ Drain Tile \$ _____ Plan Review Fee \$ _____	<b>FOR DEPARTMENT USE ONLY</b> Use Group _____ Fire Grading _____ Live Loading _____ Occupancy Load _____
Approved by: _____ 10-08-03 _____ TITLE _____	

VIII. ZONING PLAN EXAMINERS NOTES

DISTRICT

USE

FRONT YARD

SIDE YARD

SIDE YARD

REAR YARD

NOTES

IX. SITE OR PLOT PLAN - *For Applicant Use*



## ELECTRICAL PERMIT

DATE 9/19/03CONTRACTORS LICENSE NO. 1 PERMIT NUMBER                     BLDG. PERMIT NO.                     LOCATION ASHBROOK ESTATES - LOT 216OWNER HERITAGE - ASHBROOK ESTATES LPKIND OF BUILDING SINGLE HOME USED AS                     TO BE COMPLETED ABOUT 4 MOS. ESTIMATED COST \$ 2150☒ NEW - ☐ ALTERATION - ☐ REPAIR - ☐ ADDITION (Circle One)

ITEM	NUMBER	FEE	TREASURER'S VALIDATION OF FEE PAID
CEILING OUTLETS			
SWITCHES			
PLUG RECEPTACLES			
TOTAL OUTLETS			
AIR HEATERS			
RANGES			
SIGNS			
WATER HEATER			
LIGHTING CIRC.			
OTHER CIR.			
TOTAL CIRCUITS			
MOTORS			
PANEL SIZE			
RANGE COND.			
SUB FEEDER SIZE			
1st \$1,000		30.00	
REMAINDER		23.00	
TOTAL FEE		53.00	

CONTRACTOR'S NAME AND ADDRESS

11782

11005 - 50 SUNNYSIDE ROAD

CITY POTTSVILLE STATE PA ZIP CODE 19464

READY FOR INSPECTION ON                      OR WILL CONTACT PERMIT CLERK LATER X  
(date)

APPLICANT CERTIFIES THAT ALL INFORMATION GIVEN IS CORRECT AND THAT ALL PERTINENT ELECTRICAL ORDINANCES WILL BE COMPLIED WITH IN PERFORMING THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Signature of Contractor or his Authorized Representative Making Application

Signature of Permit Clerk

INSPECTOR'S COPY

## ELECTRICAL PERMIT

DATE 9/19/03CONTRACTORS LICENSE NO. 444 PERMIT NUMBER \_\_\_\_\_

BLDG. PERMIT NO. \_\_\_\_\_

LOCATION ASHBROOK ESTATES - LOT 216OWNER HERITAGE - ASHBROOK ESTATES LPKIND OF BUILDING SINGLE HOME USED AS \_\_\_\_\_TO BE COMPLETED ABOUT 4 MOS. ESTIMATED COST \$ 2150NEW ☒ ALTERATION - REPAIR - ADDITION (Circle One)

ITEM	NUMBER	FEE	TREASURER'S VALIDATION OF FEE PAID
CEILING OUTLETS			
SWITCHES			
PLUG RECEPTACLES			
<b>TOTAL OUTLETS</b>			
AIR HEATERS			
RANGES			
SIGNS			
WATER HEATER			
LIGHTING CIRC.			
OTHER CIR.			
<b>TOTAL CIRCUITS</b>			
MOTORS			
PANEL SIZE			
RANGE COND.			
SUB FEEDER SIZE			
<u>1st \$1,000.</u>		<u>30.00</u>	
<u>REMAINDER</u>		<u>23.00</u>	
<b>TOTAL FEE</b>		<u>53.00</u>	

CONTRACTOR'S NAME AND ADDRESS \_\_\_\_\_

HCCY - 50 SUNNYSIDE ROADCITY POTTSVILLE STATE PA ZIP CODE 19464READY FOR INSPECTION ON \_\_\_\_\_ (date) OR WILL CONTACT PERMIT CLERK LATER ☒

APPLICANT CERTIFIES THAT ALL INFORMATION GIVEN IS CORRECT AND THAT ALL PERTINENT ELECTRICAL ORDINANCES WILL BE COMPLIED WITH IN PERFORMING THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Signature of Contractor or his Authorized Representative Making Application

Signature of Permit Clerk

FILE COPY



# MECHANICAL PERMIT

DATE 9/19/03

CONTRACTORS LICENSE NO. 29117 PERMIT NUMBER \_\_\_\_\_

LOCATION ASHBROOK ESTATES - LOT 410 BLDG. PERMIT NO. \_\_\_\_\_

OWNER HARRISON - ASHBROOK ESTATES LP

KIND OF BUILDING SINGLE HOME USED AS \_\_\_\_\_

TO BE COMPLETED ABOUT 4 MOS. ESTIMATED COST \$ 3,675

NEW - ALTERATION - REPAIR - ADDITION (Circle One)  
 OIL ☐ GAS ☒ LPG ☐ ELECT. ☐

TYPE OF EQUIPMENT	NUMBER	FEE	TREASURER'S VALIDATION OF FEE PAID
Air Cond. Units—H.P. Ea.			
Refrigeration Units—H.P. Ea.			
Boilers—H.P. Ea.			
Forced Air Systems—B.T.U. M Ea.			
Gravity Systems—B.T.U. M Ea.			
Floor Furnaces—B.T.U. M			
Wall Heaters—B.T.U. M			
Unit Heaters—B.T.U. M			
Conversion Burner			
Clothes Dryers			
Ventilation Fan			
Range Hood			
Air Handling C.F.M.			
Incinerator			
Gas Piping			
Range COM. <input type="checkbox"/> DOM. <input type="checkbox"/>			
1ST \$1,000		30.00	
REMAINDER		93.50	
TOTAL FEE		123.50	

CONTRACTOR'S NAME AND ADDRESS HCCI - 50 SUNNYBROOK ROAD

CITY POTTSTOWN STATE PA ZIP CODE 19464

READY FOR INSPECTION ON \_\_\_\_\_ OR WILL CONTACT PERMIT CLERK LATER X  
 (date)

APPLICANT CERTIFIES THAT ALL INFORMATION GIVEN IS CORRECT AND THAT ALL PERTINENT MECHANICAL ORDINANCES WILL BE COMPLIED WITH IN PERFORMING THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Signature of Contractor or his Authorized Representative Making Application \_\_\_\_\_  
 Signature of Permit Clerk \_\_\_\_\_

INSPECTOR'S COPY



# MECHANICAL PERMIT

DATE 9/19/03

CONTRACTORS LICENSE NO. 24410 PERMIT NUMBER                     

LOCATION ASHBROOK ESTATES - LOT 40 BLDG. PERMIT NO.                     

OWNER HKRITOGA - ASHBROOK ESTATES LP

KIND OF BUILDING SINGLE HOME USED AS                     

TO BE COMPLETED ABOUT 4 MOS. ESTIMATED COST \$ 5,675

NEW - ALTERATION - REPAIR - ADDITION (Circle One)  
 OIL ☐ GAS ☒ LPG ☐ ELECT. ☐

TYPE OF EQUIPMENT	NUMBER	FEE	TREASURER'S VALIDATION OF FEE PAID
Air Cond. Units—H.P. Ea.			
Refrigeration Units—H.P. Ea.			
Boilers—H.P. Ea.			
Forced Air Systems—B.T.U. MEa.			
Gravity Systems—B.T.U. MEa.			
Floor Furnaces—B.T.U. M			
Wall Heaters—B.T.U. M			
Unit Heaters—B.T.U. M			
Conversion Burner			
Clothes Dryers			
Ventilation Fan			
Range Hood			
Air Handling C.F.M.			
Incinerator			
Gas Piping			
Range COM. <input type="checkbox"/> DOM. <input type="checkbox"/>			
<u>1ST. \$1,000</u>		<u>30.00</u>	<u>11782</u>
<u>REMAINDER</u>		<u>93.50</u>	
TOTAL FEE		<u>123.50</u>	

CONTRACTOR'S NAME AND ADDRESS HCCZ - 50 SUNNYBROOK ROAD

CITY POTTSTOWN STATE PA ZIP CODE 19964

READY FOR INSPECTION ON                      OR WILL CONTACT PERMIT CLERK LATER X  
 (date)

APPLICANT CERTIFIES THAT ALL INFORMATION GIVEN IS CORRECT AND THAT ALL PERTINENT MECHANICAL ORDINANCES WILL BE COMPLIED WITH IN PERFORMING THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Signature of Contractor or his Authorized Representative Making Application [Signature] Signature of Permit Clerk [Signature]

FILE COPY

# PLUMBING PERMIT

DATE 9/19/03

LICENSE NUMBER 414 PERMIT NUMBER

LOCATION ASHBROOK ESTATES - LOT 46

OWNER HERITAGE - ASHBROOK ESTATES LP

KIND OF BUILDING SINGLE HOME USED AS

TO BE COMPLETED ABOUT 4 MOS. ESTIMATED COST \$5,000

OLD - NEW BUILDING NUMBER

TYPE	NUMBER	FEE	TREASURER'S VALIDATION OF FEE PAID
STACKS	3	30	
SINKS	1	10	
BATHS	2	20	
WATER CLOSET	4	40	
LAVATORY	6	60	
TANK AND HEATER	1	10	
LAUNDRY TRAY	1	10	
WATER DISTRIBUTION SYSTEMS			
FLOOR DRAINS			
SEWAGE EJECTOR	1	10	
FOUNTAIN (DRINKING)			
SUMP	1	10	
SHOWERS	1	10	
URINAL			
CATCH BASIN			
DISHWASHING MACHINE	1	10	
HUMIDIFIER	2	20	
GARBAGE GRINDER			
WASHING MACHINE	1	10	
SPECIAL WASTES			
RAINWATER LEADERS			
MISCELLANEOUS FIXTURES			
TOTAL FEE		250.00	11782

CONTRACTOR'S NAME AND ADDRESS

HCCI - 58 SUNNYBROOK ROAD

CITY POTTSTOWN STATE PA ZIP CODE 19464

READY FOR INSPECTION ON \_\_\_\_\_ (date) OR WILL CONTACT PERMIT CLERK LATER X

APPLICANT CERTIFIES THAT ALL INFORMATION GIVEN IS CORRECT AND THAT ALL PERTINENT CITY ORDINANCES WILL BE COMPLIED WITH IN PERFORMING THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Signature of Contractor or his Representative Making Application

Signature of Permit Clerk

INSPECTOR'S COPY



# PLUMBING PERMIT

DATE 9/19/03

LICENSE NUMBER 2242 PERMIT NUMBER

LOCATION ASHBROOK ESTATES - LOT 46

OWNER HERITAGE - ASHBROOK ESTATES LP

KIND OF BUILDING SINGLE HOME USED AS

TO BE COMPLETED ABOUT 4 MOS. ESTIMATED COST \$ 5,000

OLD - NEW BUILDING NUMBER

TYPE	NUMBER	FEE	TREASURER'S VALIDATION OF FEE PAID
STACKS	3	30	
SINKS	1	10	
BATHS	2	20	
WATER CLOSET	4	40	
LAVATORY	6	60	
TANK AND HEATER	1	10	
LAUNDRY TRAY	1	10	
WATER DISTRIBUTION SYSTEMS			
FLOOR DRAINS			
SEWAGE EJECTOR	1	10	
FOUNTAIN (DRINKING)			
SUMP	1	10	
SHOWERS	1	10	
URINAL			
CATCH BASIN			
DISHWASHING MACHINE	1	10	
HUMIDIFIER	2	20	
GARBAGE GRINDER			
WASHING MACHINE	1	10	
SPECIAL WASTES			
RAINWATER LEADERS			
MISCELLANEOUS FIXTURES			
TOTAL FEE		230.00	11782

CONTRACTOR'S NAME AND ADDRESS  
HCCI - 50 SUNNYBROOK ROAD  
 CITY POTTSTOWN STATE PA ZIP CODE 19464

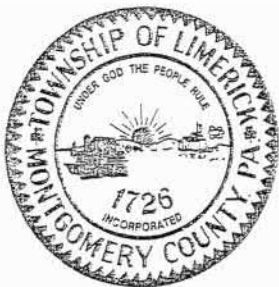
READY FOR INSPECTION ON \_\_\_\_\_ (date) OR WILL CONTACT PERMIT CLERK LATER X

APPLICANT CERTIFIES THAT ALL INFORMATION GIVEN IS CORRECT AND THAT ALL PERTINENT CITY ORDINANCES WILL BE COMPLIED WITH IN PERFORMING THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Signature of Contractor or his Representative Making Application [Signature] Signature of Permit Clerk [Signature]

FILE COPY





# LIMERICK TOWNSHIP

646 WEST RIDGE PIKE  
LIMERICK, PENNSYLVANIA 19468

ADMINISTRATION  
(610) 495-6432  
FAX (610) 495-0952  
FINANCE (610) 495-5151  
CODE ENFORCEMENT/ZONING/PERMITS  
(610) 495-0951  
PUBLIC WORKS DEPARTMENT  
(610) 495-7522  
POLICE DEPARTMENT  
(610) 495-7909

B \_\_\_\_\_ U \_\_\_\_\_

## APPLICATION FOR USE AND OCCUPANCY PERMIT

(Section 184.14 and 184.15 of Limerick Township Zoning Ordinance)

Applicant: Heritage Construction Co., Inc.

Address: 50 Sunnybrook Road  
Pottstown, PA 19464

Phone: 484-944-5677 FAX: 484-944-5682

Property Owner: Heritage-Ashbrook Estates L.P.

Address: 50 Sunnybrook Road, Pottstown, PA 19464

Phone: 484-944-5677 FAX: 484-944-5682

Location/Address of property for which this U & O is applied for: \_\_\_\_\_  
Ashbrook Estates - Lot 44

Proposed Use: Single Home

Plot Plan Preparer: Tom Watkins, Carroll Engineering  
Title: Vice-President

Person responsible for property line locations and corner pins: \_\_\_\_\_  
David Brandschain  
Title: President

Check Applicable: New Construction ☒ Change in non-conforming use \_\_\_\_\_  
Addition \_\_\_\_\_ Change in use \_\_\_\_\_  
Alteration \_\_\_\_\_  
Change in occupancy, non-residential \_\_\_\_\_

Fee Submitted: \$ 35.00 Check #: \_\_\_\_\_ Cash Receipt: \_\_\_\_\_

Signature: [Signature]  
Date: 9/19/03

To: Limerick Township Code Office

Re: **House/Building Placement**

Date: 9/19/03

I do hereby certify the placement of the House/Building being within the allowable building envelope at the following location:

Subdivision #: Ashbrook Estates

Location: 2008 Willowood Drive

Lot #: 44

Layout Date: 9/24/03

Responsible Person: Kim Seyfert and Carroll Engineering

Signature: 

I do hereby certify that the elevation of the building is in accordance with the site plan as submitted with building permit.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

*Note: This certification **must be submitted** within the building permit applications, and elevation to be certified at footing inspection.*

ADDRESS \_\_\_\_\_

PERMIT # \_\_\_\_\_

B\_\_\_\_\_/U\_\_\_\_\_

**INSPECTION RECORD**

DATE	NOTES & COMMENTS		INSPECTOR
ITEM	SQ. FT.	ITEM	SQ. FT.
LIVING SPACE		FINISHED BASEMENT	
GARAGE		DETACHED GARAGE	
DECK		SHED	
PATIO		OTHER	
PORCH - FRONT			
PORCH - BACK			
PERMIT	NEED	HAVE	FEE
GRADING		/	
DRIVEWAY		/	
ELECTRICAL		/	
PLUMBING		/	
MECHANICAL		/	
U&O		/	
<b>DISCLOSURE</b>		/	
OPEN SPACE			
209 FEES		/	
L&I			
SEWER/SEPTIC			
WATER/WELL			
OTHER			



### DISCLOSURE STATEMENT

This document is for your protection. Read it carefully before signing it. The Code of the Township of Limerick, Chapter 155. Subdivision and Land Development, Article IX, Section 155-41 through Section 155-50 requires that the Sellers of new residential properties, as defined in the Code of Ordinances, provide the purchasers with certain specific information regarding the property to be sold prior to the signing of any Agreement of Sale. This information is intended to benefit the purchaser by clearly delineating the nature of the property in question, and the nature, the location, and presence of certain restrictions or conditions that may affect its use and occupation.

The checklist below is required by the Township to make certain that you have been shown the information required by the Code of Ordinances. It is your obligation to evaluate that information and to consider its impacts and implications relative to your particular situation. The importance of reading and understanding the material presented to you cannot be over stressed. The checklist is not intended to address or identify every circumstance that could arise involving a restriction or use of the property nor is it a comprehensive list of restrictions, ordinances, codes, regulations, or requirements that now exist or may be hereafter adopted, that the property may now or in the future be subject. The use, review, and execution of this checklist should not be in lieu of your own investigation as to the nature of this property. You should be aware that there may be other factors which affect the desirability, suitability, current or future value, and use or occupation of the site that are not referenced or noted herein. You should not rely on the Disclosure Statement as a substitute for your own thorough and complete evaluation of the value, utility, and current and future use of the property.

If you have any questions you would be well advised to seek the assistance of an unbiased professional before signing any Sales Agreement.

## RESIDENTIAL DISCLOSURE STATEMENT

The purchasers shall initial each of the following to verify that the information about each of the following was presented and explained fully with regard to your property:

KH MRH All lot lines within the development.

KH MRH The current Zoning District in which the property is located. All uses presently permitted within the District in compliance with zoning, including accessory uses, and all Deed restrictions or other restrictions that affect development of the property.

KH MRH All current dimensional requirements for the principal use on each lot, such as setback requirements, building coverage, impervious coverage, and height limitations.

KH MRH All current dimensional requirements for accessory uses (such as decks, pools, sheds, garages, fences, etc.) permitted on each lot, such as size, setback requirements, and height limitations.

KH MRH The location and dimension of all easements throughout the development describing the nature of and facilities within said easement (i.e. street, rights-of-way, sewer, water, storm water, open space, vegetative buffering, etc.), showing which lots are affected by these easements.

KH MRH The location of all areas within the development and on each lot that are classified as wetlands, wetland buffers, steep slopes, hydric soils, flood plain, flood fringe, and flood way, as well as, encroachment restrictions including, but not limited to, protection of woodlands and mature trees and other consequences affecting the development of the property.

KH MRH The location of storm water drainage easements and facilities (i.e., easements,

drains, catch basins, and retention/detention basins, etc.), and the path of storm water runoff, as well as, the terms and conditions of the property owner's obligations, responsibility and liability.

KH MKH

The existing zoning of land which abuts the property/development and a description of permitted uses and dimensional requirements for each contiguous zoning district.

KH MKH

Public or private common areas, such as parklands, open space, streets, recreation facilities and bikeways.

KH MKH

Membership in a Homeowners Association, if applicable. A copy of the Homeowners Association/Condominium Agreement has been provided.

KH MKH

The date of the zoning and subdivision and land development chapters of the Township's Code of Ordinances the particular plan is being developed under shall be provided to the prospective purchaser. If the property is part of a development that is subject to conditional approvals, stipulations, or other agreements, a copy of all such terms and conditions shall be included in their entirety.

KH MKH

I/We understand that substantial use restrictions may apply to environmentally sensitive areas (i.e., wetlands, wetland buffers, steep slopes, hydric soils, flood plain, flood way, and flood fringe and associated areas protected from encroachment, etc.), and that these restrictions including, but not limited to, woodlands and mature trees will be enforced by the appropriate local, state, and federal agencies. I/We understand that substantial penalties exist for the violation of those restrictions.

KH MKH

I/We are aware that the existing zoning regulations within the Township are subject to change.

KH MKH

I/We are aware that if the site is to be serviced by on-site sanitary sewer collection



and disposal that the same is subject to the permits, regulations, and requirements of the Pennsylvania Department of Environmental Protection and the Montgomery County Health Department.

KH MRA

I/We understand that if the site is to be serviced by the municipal sewer collection, conveyance, and treatment facilities that connection thereto must mean compliance with the Code of Ordinances and the regulations adopted pursuant thereto by the local, state, and federal authorities. Further, the cost of connection and of sewer rental (treatment) rates are established by the Board of Supervisors for the Township of Limerick and are subject to change and modification in accordance with law.

KH MRA

I/We are aware that the existing Building Codes within the Township are subject to change.

KH MRA

I/We are aware that if the site is serviced by public water, that the fees, service, facilities, and access to the same are under the supervision and regulation of Citizens Water Company, its successors and/or assigns and the Pennsylvania Utilities Commission and is not otherwise regulated by, associated with, or subject to the direction of the Township.

KH MRA

That if the property is subject to an easement or right-of-way, I/We are aware that the area of the right-of-way may be accessed by governmental interest, the easement holder, the general public or other third parties acting on behalf of one of these entities, if applicable, and that we will not impede, obstruct, or otherwise preclude access to the same for such appropriate purposes.

KH MRA

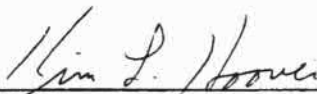
That if the property is subject to easements or rights-of-way for storm water management facilities (i.e., catch basins, drains, pipes, conduit, and/or storm water detention/retention basins, etc.), that I may have certain obligations regarding the maintenance, access to, and operation of said facilities and that if I

should fail to perform said maintenance, the Township may enter upon the property to perform the same at my cost and expense.

I/We, being the undersigned, acknowledge that I/We have received a full size copy of the plan detailing the scope of the subdivision and/or land development site, as well as, a separate lot plan of my/our property from the Seller. I/We further understand and agree to the constraints imposed thereon with regard to my/our property. I/We have also received a full and complete copy of this Disclosure Statement and understand that signing this Disclosure Statement does not release me/us from meeting the requirements and obligations of the Township of Limerick, Commonwealth of Pennsylvania, or United States Government.

 7-26-03  
Seller 

Seller

 7/12/2003  
Purchaser

 7/12/03  
Purchaser

DATED: 7-26-03

# INTER-OFFICE RECEIPT TRANSMITTAL

Name: Heritage Const. Date: 10/8/03  
 Development: Ashbrook Lot #: 46  
 Location: 2008 Willerwood B. 54A U 46  
 Check #: 11782

321-600 Cont. Reg. \_\_\_\_\_  
 321-610 Solicitation \_\_\_\_\_  
 321-611 Home Occup. Permit \_\_\_\_\_  
 321-900 Trailer Park \_\_\_\_\_  
 322-820 Highway Occup. Permit \_\_\_\_\_  
 361-330 Zoning Permit \_\_\_\_\_  
 361-331 Sign Permit \_\_\_\_\_  
 361-340 Zoning Hearing \_\_\_\_\_  
 361-341 Petition to Re-Zone \_\_\_\_\_  
 361-342 Conditional Use Hearing \_\_\_\_\_  
 361-520 Sale of Codes/Maps \_\_\_\_\_  
 \_\_\_\_\_  
 361-530 Copying Fees \_\_\_\_\_  
 362-120 Alarm Permit \_\_\_\_\_

Commercial or Residential: Residential  
 Sq. Ft.: 3657  
 Cost of Improvement: \_\_\_\_\_  
 362-410 Building Permit \$914.25  
 Cost for Electrical \$2,150.00  
 362-420 Electrical Permit \$53.00  
 Number of Plumbing Fixtures: 25  
 362-430 Plumbing Permit \$250.00  
 362-450 Use & Occup. Permit: \$35.00  
 Cost for Mechanical: \$5675  
 362-460 Mechanical Permit: \$12350  
 362-470 Re-Inspection Fees: \_\_\_\_\_  
 362-480 Building Plan Review: \_\_\_\_\_  
 Other \_\_\_\_\_

Money Received for the funds listed below MUST be on separate Checks.

04-383-530 Road Improvement: \_\_\_\_\_ 04-383-531 Act 209: \_\_\_\_\_  
 05-383-530 Lewis Road: \_\_\_\_\_ 36-367-820 Open Space: \_\_\_\_\_

TOTAL \$ 1,375.75

FOR YOUR SECURITY THIS CHECK CONTAINS A WATERMARK-HOLD UP TO LIGHT OR TURN OVER AND HOLD AT ANGLE

**HERITAGE CONSTRUCTION CO., INC.**  
**HERITAGE RESIDENTIAL**  
 3326 Old York Road, Suite A100  
 Furlong, PA 18925

**HARLEYSVILLE NATIONAL**  
 Bank and Trust Company  
 Limerick Office

No. 11782

DATE  
 09/25/2003

\*\*\*\*\*CHECK 75075\*\*\*\*\*

ONE THOUSAND THREE HUNDRED SEVENTY-FIVE DOLLARS AND 75 CENTS \*\*\*\*\*

PAY

TO THE  
 ORDER  
 OF

Limerick Township  
 646 W. Ridge Pike  
 Limerick, Pa 19468

HERITAGE CONSTRUCTION CO., INC.

*[Signature]*

00112820 0031911818003 383025



# INTER-OFFICE RECEIPT TRANSMITTAL

Name: Heritage Const. Co. Date: 10/8/03  
 Development: Ashbrook Lot #: 46  
 Location: 2008 Willowood Dr B: 54A U: 46  
 Check #: 11784

321-600 Cont. Reg. \_\_\_\_\_  
 321-610 Solicitation \_\_\_\_\_  
 321-611 Home Occup. Permit \_\_\_\_\_  
 321-900 Trailer Park \_\_\_\_\_  
 322-820 Highway Occup. Permit \_\_\_\_\_  
 361-330 Zoning Permit \_\_\_\_\_  
 361-331 Sign Permit \_\_\_\_\_  
 361-340 Zoning Hearing \_\_\_\_\_  
 361-341 Petition to Re-Zone \_\_\_\_\_  
 361-342 Conditional Use Hearing \_\_\_\_\_  
 361-520 Sale of Codes/Maps \_\_\_\_\_  
 \_\_\_\_\_  
 361-530 Copying Fees \_\_\_\_\_  
 362-120 Alarm Permit \_\_\_\_\_

Commercial or Residential: \_\_\_\_\_  
 Sq. Ft.: \_\_\_\_\_  
 Cost of Improvement: \_\_\_\_\_  
 362-410 Building Permit \_\_\_\_\_  
 Cost for Electrical \_\_\_\_\_  
 362-420 Electrical Permit \_\_\_\_\_  
 Number of Plumbing Fixtures: \_\_\_\_\_  
 362-430 Plumbing Permit \_\_\_\_\_  
 362-450 Use & Occup. Permit: \_\_\_\_\_  
 Cost for Mechanical: \_\_\_\_\_  
 362-460 Mechanical Permit: \_\_\_\_\_  
 362-470 Re-Inspection Fees: \_\_\_\_\_  
 362-480 Building Plan Review: \_\_\_\_\_  
 Other \_\_\_\_\_

Money Received for the funds listed below MUST be on separate Checks.

04-383-530 Road Improvement: \_\_\_\_\_ 04-383-531 Act 209: \$316.00  
 05-383-530 Lewis Road: \_\_\_\_\_ 36-367-820 Open Space: \_\_\_\_\_  
 TOTAL \$316.00

FOR YOUR SECURITY THIS CHECK CONTAINS A WATERMARK-HOLD UP TO LIGHT OR TURN OVER AND HOLD AT ANGLE

**HERITAGE CONSTRUCTION CO., INC.**  
**HERITAGE RESIDENTIAL**  
 3326 Old York Road, Suite A100  
 Furlong, PA 18925

**HARLEYSVILLE NATIONAL**  
 Bank and Trust Company  
 Limerick Office

**No. 11784**

DATE  
**09/25/2003**

\*\*\*\*\*  
**CHECK \$16.00**  
 \*\*\*\*\*

**THREE HUNDRED SIXTEEN DOLLARS AND ZERO CENTS** \*\*\*\*\*

PAY

Limerick Township  
 646 W. Ridge Pike  
 Limerick,, Pa 19468

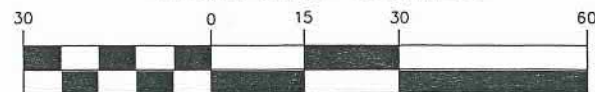
**HERITAGE CONSTRUCTION CO., INC.**

TO THE  
 ORDER  
 OF

211784 0919118120031383025



# GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



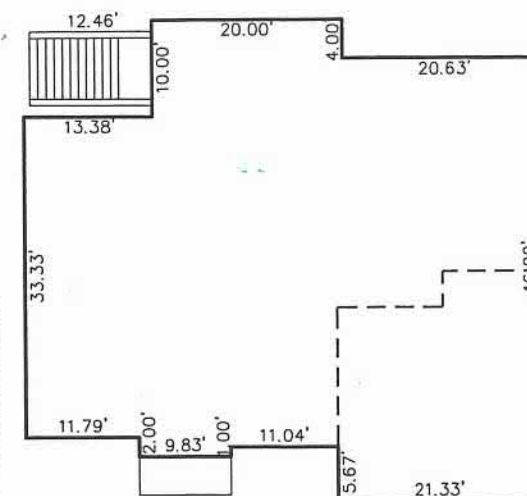
THIS AREA TO BE  
DEED RESTRICTED  
TO REMAIN OPEN

BARRINGTON  
GRAND MANOR  
BRICK  
SOLARIUM  
9' BASEMENT WALLS  
WALK-UP BASEMENT STAIRS

F.F. = 241.50  
T.W. = 240.54  
G.F. = 239.83  
F.G. = 239.2  
B.F. = 231.87

DB 5129 PG 1188 BLOCK  
54 UNIT 1 PARCEL #  
37-00-04417-001 N/L  
HENRY W. REIFSNEIDER

SEP 26 2003



## BUILDING DIMENSIONS

SCALE: 1" = 20'

### NOTES:

- 1) SITE INFORMATION WAS OBTAINED FROM PLANS PREPARED BY BURSICH ASSOCIATES, INC., ENTITLED "FINAL PLAN, ASHBROOK ESTATES", DATED 11-8-01, AND LAST REVISED 6-4-02.
- 2) BUILDING DIMENSIONS SHOWN ARE NOT TO BE UTILIZED TO CONSTRUCT BUILDING. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION INFORMATION.
- 3) LOT AREA: 28,063 SQUARE FEET.

## BUILDING PERMIT PLAN

LOT #46  
ASHBROOK ESTATES

SITUATED IN  
LIMERICK TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

PREPARED FOR  
HERITAGE CONSTRUCTION COMPANY  
3326 OLD YORK ROAD-SUITE A 100  
FURLONG, PENNSYLVANIA 18925

Carroll Engineering Corporation

949 Easton Road  
Warrington, PA 18976  
Phone: 215-343-5700  
Fax: 215-343-0875



555 Second Avenue, Suite G-101  
Collegeville, PA 19426  
Phone: 610-489-5100  
Fax: 610-489-2674

www.carrollengineering.com

DSG BY	DATE	9-24-03	DRAWER NUMBER
DWN BY	J.J.C.	JOB NO	02-1251.00
CKD BY	S.A.H.	SCALE	1"=30'
		SHEET	1 OF 1 SHEETS



STEPHEN A. HIGGINS, III SU-24477-E

NO.	DATE	DESCRIPTION	INITIALS
4			
3			
2			
1	10/1/03	238' CONTOUR; SPOT ELEV.	AWB

R=175.00'  
L=74.38'

WILLOWOOD DRIVE